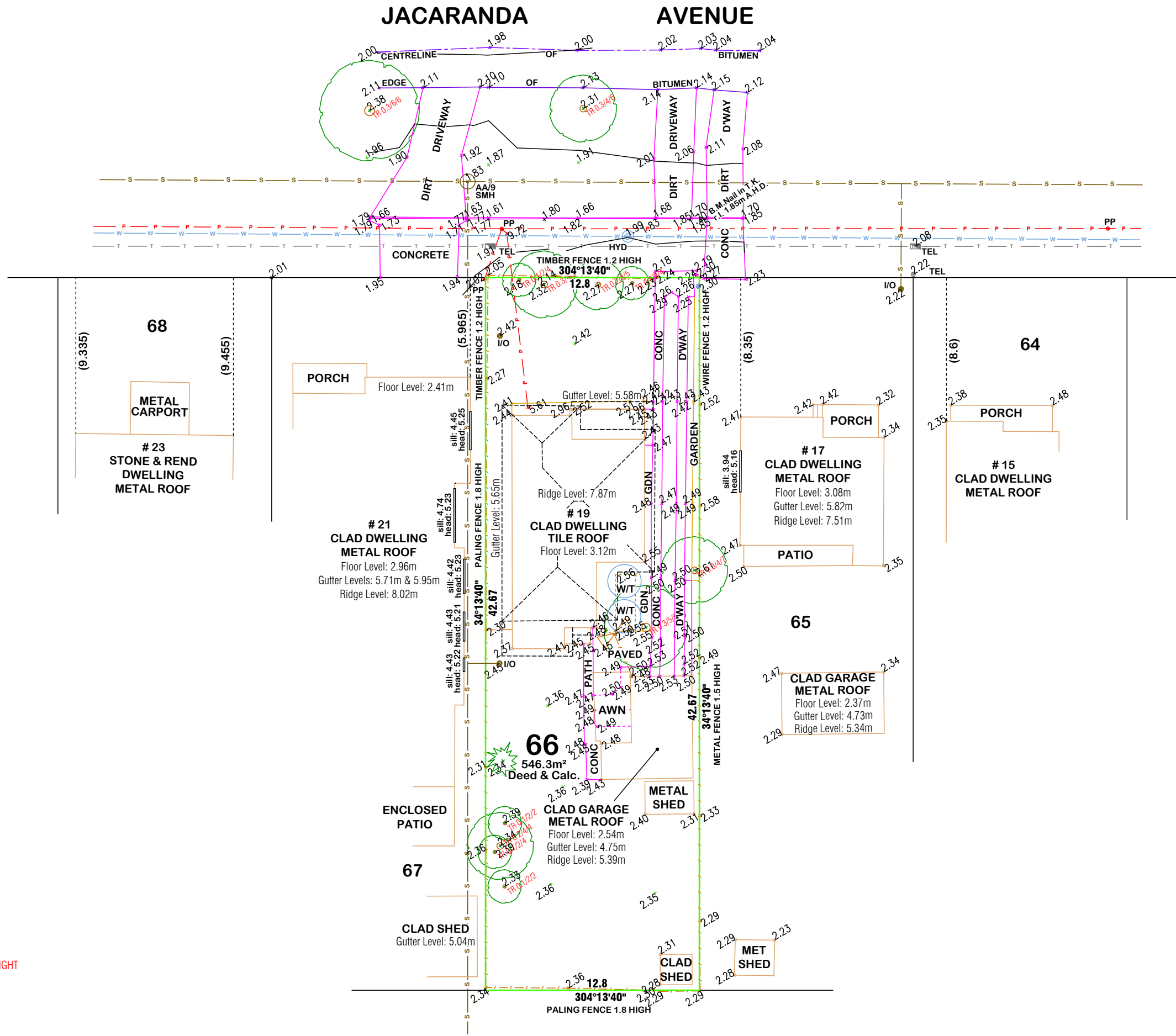
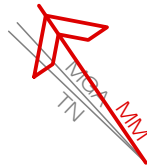




TREE: DIA / SPREAD / HEIGHT



	Origin of Levels : SSM 92104 fd. Location : Cnr Jacaranda Ave & Bay St, Patonga. R.L. : 2.182m A.H.D.	revision	description:	date:	client:	 Clarke Dowdle & Associates Development Consultants surveyors - planners - ecologists - bushfire consultants #1 OSCAR STREET UMINA BEACH NSW 2257 ph (02)43443553 fax (02)43446636 email admin@cdsurveys.com.au Po Box 3122 Umina NSW 2257	project:	#19 JACARANDA AVENUE, PATONGA.	red. ratio:	1:250	datum:	A.H.D.	-all dimensions are in metres unless otherwise shown. -check and confirm all areas & dimensions on site prior to the commencement of any works. -do not scale from face of plan. -preliminary boundary fixation has been undertaken only. -if any construction is planned on or close to the boundaries further survey work will be required. -a complete investigation of services has not been undertaken for this survey. -services shown hereon have been located by visible features only. -tree trunk & height dimensions are approximate only. -tree spreads are approximate only but have been drawn to scale. -ridge& gutter levels displayed on buildings are approximate only. -underground utility mains locations are provided by Council diagrams & are approx positions only
		A	Text Updated	16/04/2025	MAPP			reference #Go:	27249	rel ext:			
								contour interval:	1m	DA #:			
								job date:	03/04/2025	number in set:	1 of 1		
These Drawings are for the express use of the intended recipient only. These drawings are not to be used / copied or forwarded to any unauthorised parties in part or whole without the express permission of Clarke Dowdle & Associates. Copyright and rights of use remain the property of Clarke Dowdle & Associates.					assessed:	A.W.C.	details:	Lot 66 in DP 9408	LGA:	CENTRAL COAST			
					drawn:	R.G.	Parish:		PATONGA				
					surveyed:	W.A.C.	County:		NORTHUMBERLAND				
					Registered Surveyor								