

NOTES

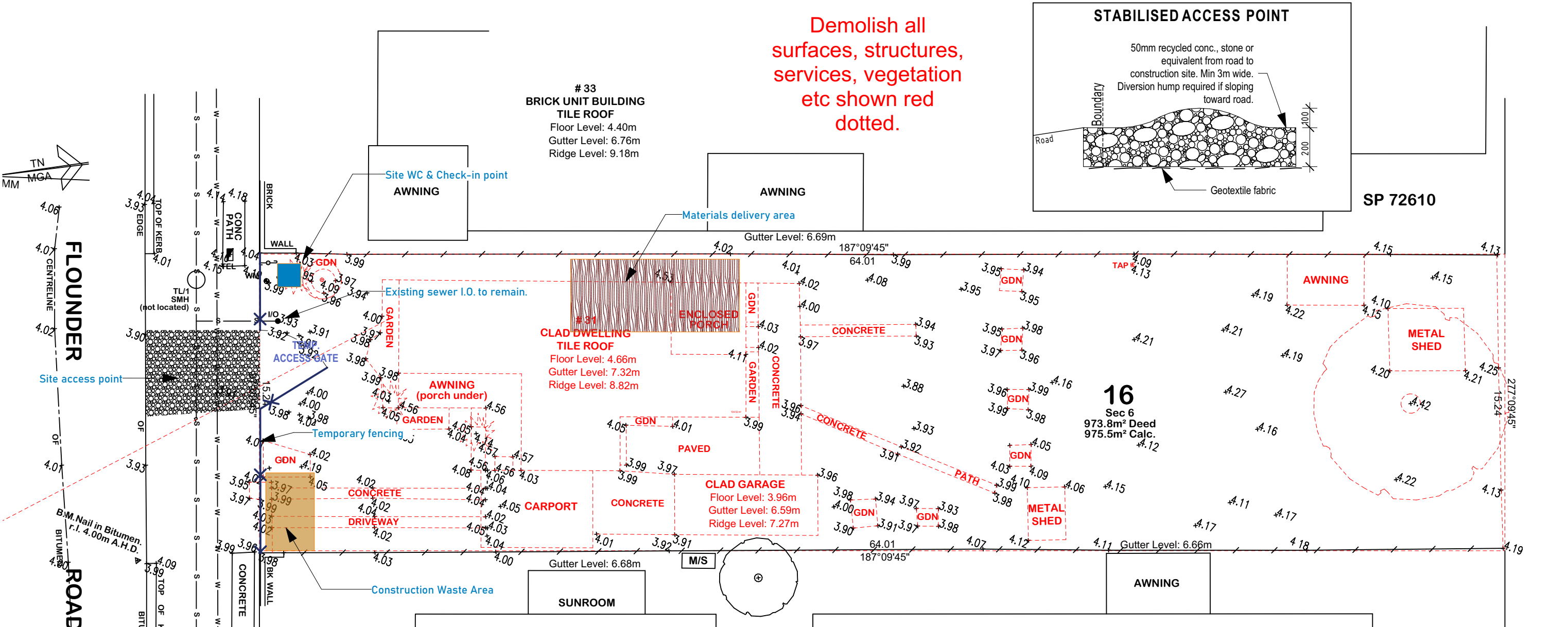
1. SITE, SITE ESTABLISHMENT & DEMOLITION
- 1.02. SITE ESTABLISHMENT
- 1.02.01 Temporary fencing
- Temporary 1800H chain wire perimeter protection fence to be erected prior to commencement of the works.
 - Display emergency, site contact and WHS details.
 - Temporary protection fences required around protected trees on site.
 - Remove fencing for landscape restoration only after the completion of construction works.
- 1.02.02 Erosion control
- Provide erosion control to detail as required.
- 1.02.03 Site access point
- Temporary access across verge: where possible use existing driveways. If not practicable, the Contractor is to construct a stabilised access point as per detail.
- 1.02.04 Waste management
- The method of disposal for all demolished structures and vegetation shall be as per the approved Waste Management Plan.
- 1.02.05 Vegetation protection
- All existing vegetation shown is to be retained and protected - unless noted

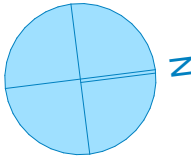
- otherwise.
- No storage of materials/waste or parking is permitted within the critical root zone (CRZ - the drip zone) of trees to be retained.
 - Existing crown and apex not to be altered unless noted otherwise.
 - Ensure construction equipment can pass beneath lowest limb without damage to trees.
 - Access requiring excavation is not permitted on two sides of trees.
 - All work within the drip zone must be undertaken by hand.
 - Do not sever large roots (greater than 30mm dia) closer than halfway from the drip line to the trunk.
 - All roots must be cut cleanly with equipment specially designed to cut roots.
 - Roots exposed during excavation must be protected from drying out.
- 1.02.06 Disconnect & protect services
- Before commencing demolition arrange with all utility network operators to disconnect services and remove fittings and equipment. Pay all fees and charges for this work.
 - Any alterations that may affect the location of the existing main electrical service cable or electrical meter box shall require the builder to contact the relevant power utility for a

- determination prior to the commencement of the works.
- Water meter to be staked and Para-webbed.
 - Sewer tie to be capped off 3m inside block boundary.
- 1.02.07 Work on site only
- All construction work is to be contained within the site except for work otherwise approved by all relevant authorities. No unauthorised use of public land for storage of waste/recyclables or parking is permitted.
 - Advertising, signage, and the like to be located within the property boundary.
- 1.02.08 Reinstatement
- The contractor is responsible for the reinstatement of all damages incurred to land, vegetation, services, paths, roads and other public property, as a result of this construction work. Refer also to approved Delapidation Report.
 - At the completion of construction, verges are to be restored to non irrigated grass. Top soil is not to be removed and the soil levels must not be changed.
- 1.02.11 Site WC & Check-in point
- Provide and maintain Site toilet facility for construction personnel in accordance with the Project WHS Management Plan. Toilet shall be regularly serviced and maintained in a clean and hygienic condition for the duration of the works.
- Site check-in point - All personnel and visitors must report here for site sign-in, induction and authorisation prior to

- entering the construction site. Access beyond this point is restricted to authorised persons only.
- 1.02.12 Materials delivery area
- Materials recieved to site during construction are to stored on site in the area nominated as practicable
- 1.02.13 Construction Waste Area
- Provide and maintain suitable storage of construction waste. Waste bins or other methods of containment shall ensure waste is kept on site in all weather conditions. Bins shall be regularly serviced and not filled beyond maximum levels for the duration of the works.
- 1.03. DEMOLITION
- 1.03.01 Demolition General
- Carry out demolition only under the supervision of a suitably experienced person and using only experienced operators and drivers. Obtain and pay for any required inspection which are additional to the building consent. Take all precautions necessary to minimise nuisance cause by dust, dirt, rubbish and water. SITE SAFETY: prevent access by unauthorised persons. Illuminate and protect all holes, unsafe buildings and other hazzards. Leave site and building safe at the close of each days work. Reinststate and make good demolition damage to adjoining properties, existing work, services, or property.
- 1.03.07 Remove asbestos
- Identify, encapsulate, treat, remove and dispose of safely materials containing asbestos fibre to SafeWork Australia requirements.
- 1.08. SEWER
- 1.08.02 Existing sewer I.O. to remain.
- Adjust height to suit new driveway levels

- 1.03.02 Demolish all surfaces, structures, services, vegetation etc shown red dotted.
- Carry out demolition only under the supervision of a suitably experienced person and using only experienced operators and drivers. Obtain and pay for any required inspection which are additional to the building consent. Take all precautions necessary to minimise nuisance cause by dust, dirt, rubbish and water. SITE SAFETY: prevent access by unauthorised persons. Illuminate and protect all holes, unsafe buildings and other hazzards. Leave site and building safe at the close of each days work. Reinststate and make good demolition damage to adjoining properties, existing work, services, or property.





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ACCREDITED MEMBER

New 3 Unit Development

for:
Heisei P/L

at:
31 Flounder Road Ettalong Beach NSW 2257

lot: 16 dp: 5298

REV	Issue	Date
01	Prelim DA Issue	6/07/2026
02	Issue to BSA	10/07/2026
03	Issue to client for signoff	15/07/2026
04	Abridged set to BSA	27/07/2026
05	DA issued	29/07/2026

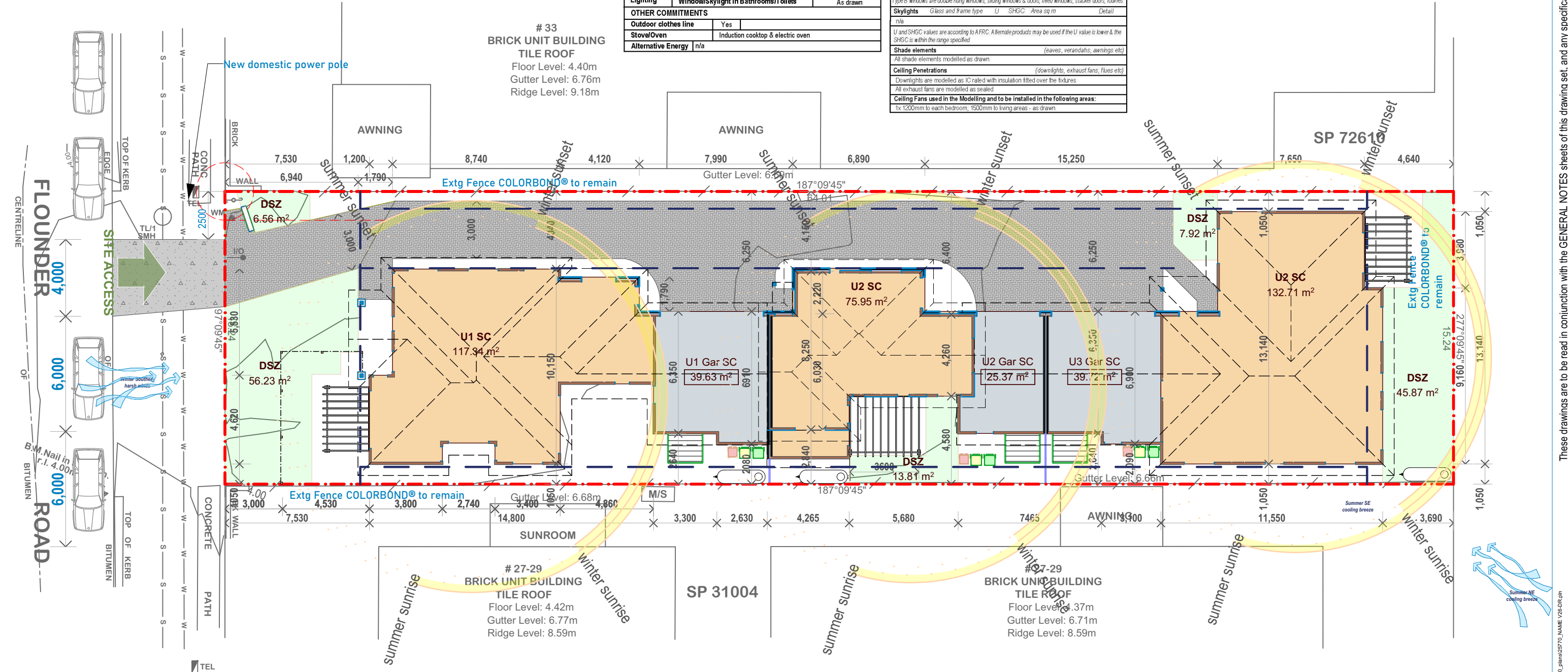
PRE-CONSTR'N WORKS PLAN

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drawn: ARF	05	25770-A3-10
checked: DR		
print date: 6/08/2026		
scale @ A3: 1:200		

NOTES

1.01.01 Levels to AHD
All spot levels, contours etc shown are to Australian Height Datum (AHD)
1.01.02 Landscaping
Refer to Landscape plan for all soft and hard landscaping.
1.01.03 Existing spot levels
1.04.04 Max cut & fill
Maximum cut & fill not to exceed 1m
1.05.01 Timber retaining walls
H4 treated pine sleeper retaining walls. If over 600mm high - to be designed by registered structural engineer. Provide geotextile fabric to face of excavated soil and 100mm dia coil drain wrapped in geotextile fabric (fall to sump), in free draining drainage medium.
1.06.00 General Drainage and Services notes

Locate existing power, water, telephone and sanitary drainage services. Allow to inform network operators as necessary
1.06.10 Refer engineers Site Works drawings for connection into SW line and Sewer line.
1.06.21 New domestic power pole
Install new domestic electricity service pole. Refer to Electrical Engineer's documents for detail
30.03.02 Extg Fence COLORBOND® to remain
Existing COLORBOND® fencing to remain.



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SITE PLAN
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drawn: ARF
checked: DR
print date: 6/08/2026
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Issue:

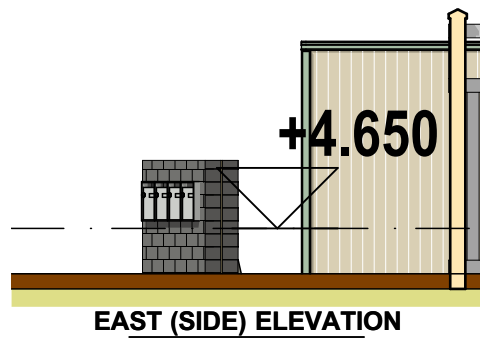
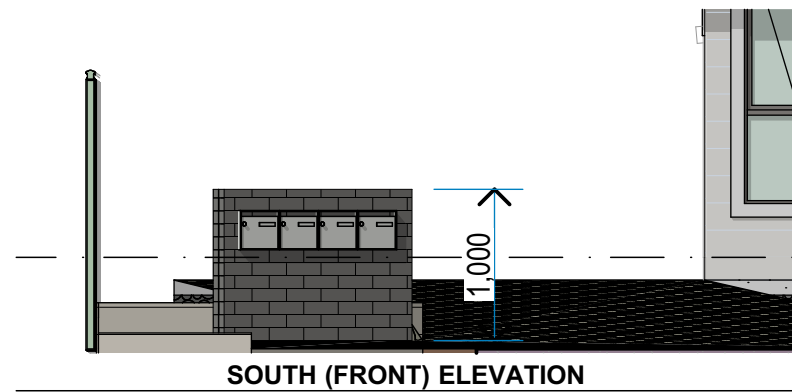
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sheet #:

25770-A3-11

These drawings are to be read in conjunction with the GENERAL NOTES sheets of this drawing set, and any specifications provided in relation to the "Project" by Howard Leslie & Associates.

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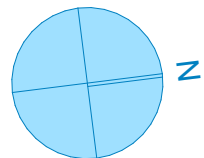
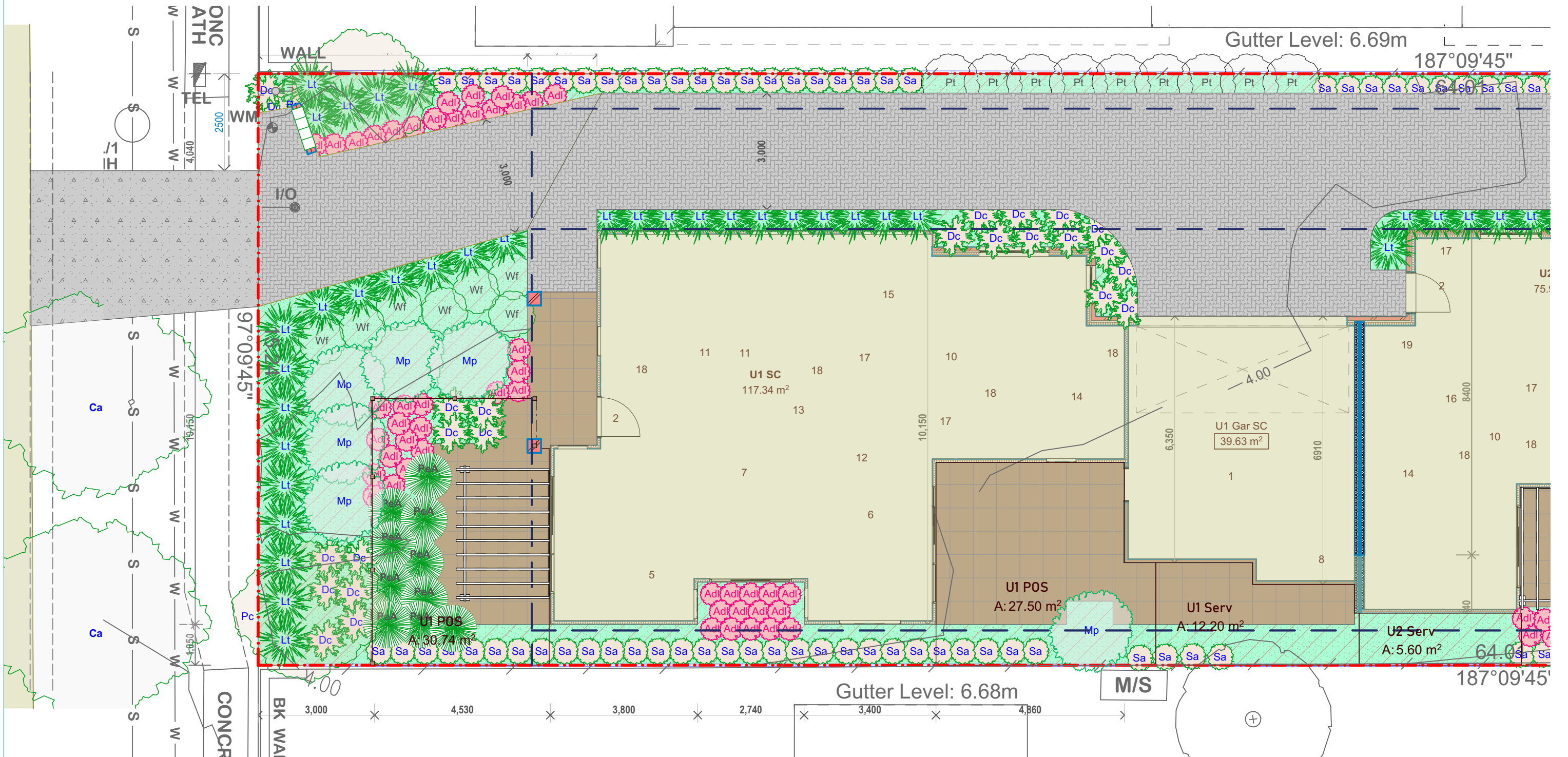


Deep Soil Zone

Area	% of site
6.56	0.67
7.92	0.81
13.81	1.42
45.87	4.70
56.23	5.76
130.39 m²	13.36

Landscape Surfaces

SC	Surface	Area
Landscape	Lawn	14.24
Landscape	Mulched Garden Bed	233.88
		248.12 m²
SC	Building Footprint	430.72
SC	Driveway	204.86
SC	Unit Paving	89.22



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LANDSCAPE PLAN U1

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print date: 6/08/2026
scale @ A3:

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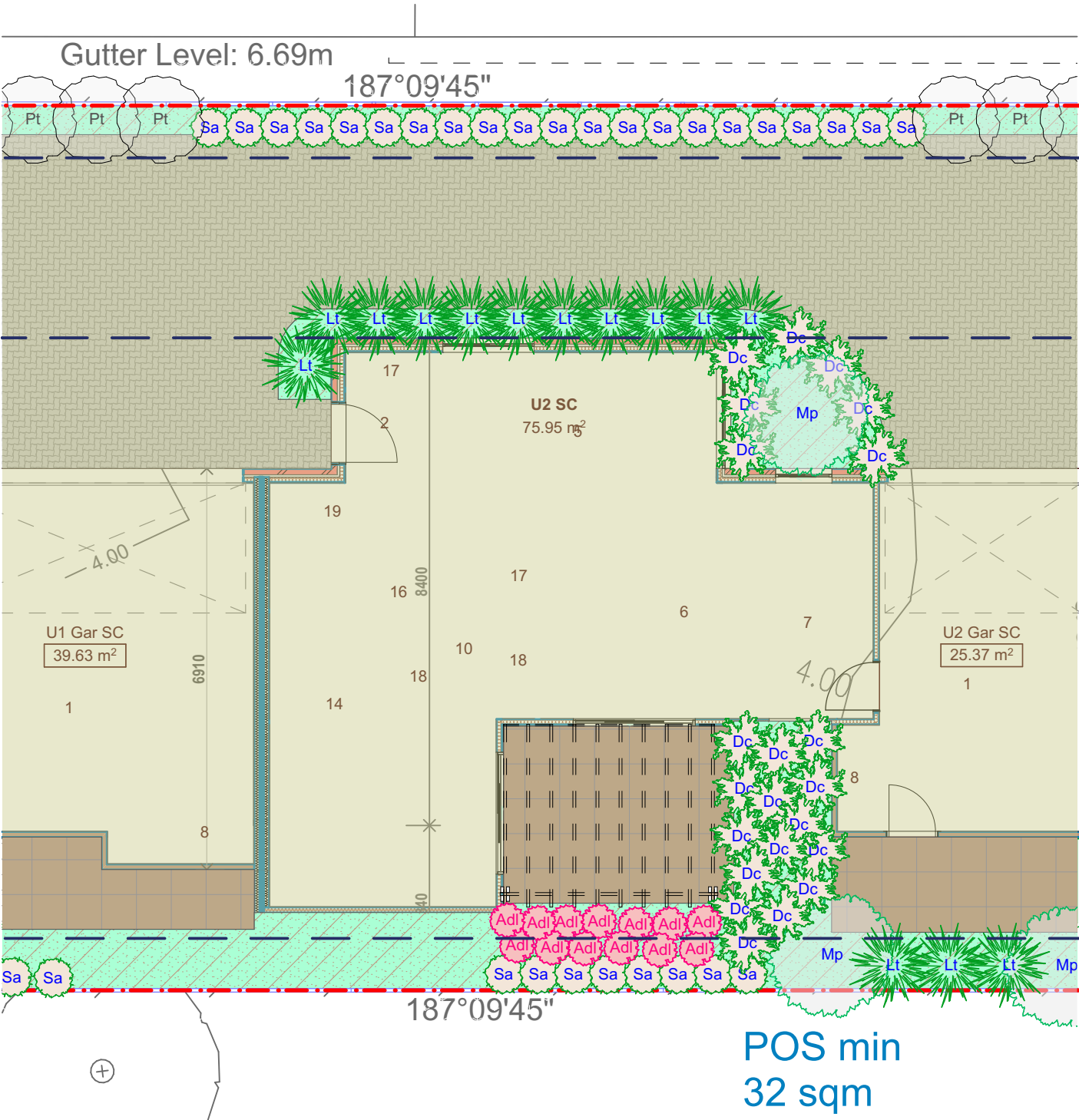
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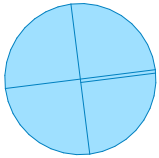
sheet #:

**25770-
A3-13**

PLANT SCHEDULE						
Symbol	ID	Scientific Name	Common Name	Height	Qty	Pot Size
	Adl	Alternanthera dentata - Always Red	Alternanthera - Always Red	500	108	140mm
	PeA			700	10	
	Di	Dietes iridioides 'Lent A. Williamson'	Tall Bearded Iris	700	24	Tube Stock
	Dc	Dianella Explorer™ - Flax Lily	Dianella	900	52	Tube stock
	Lt	Lomandra hystrix	Mat Rush	900	63	140mm
	Ga	Gardenia Augusta 'Florida'	Gardenia	1,000	11	140mm
	Wf	Westringia Fruticosa 'Naringa'	Native Rosemary	1,000	7	140mm
	Mp	Murraya paniculata	Orange Jessamine	1,800	10	140mm
	Sa	Syzigium australe 'Pinnacle'	Lilly Pilly 'Pinnacle'	2,150	83	140mm
	Pt	Pittosporum tenuifolium	Pittosporum - Screen Master	3,000	23	200mm
	Pc	Pyrus calleryana Chanticleer	Ornamental pear	8,000	4	25L
	Ca	Cupaniopsis anacardioides	Tuckeroo	8,000	3	25L

Deep Soil Zone		Landscape Surfaces		
Area	% of site	SC	Surface	Area
6.56	0.67	Landscape	Lawn	14.24
7.92	0.81	Landscape	Mulched Garden Bed	233.88
13.81	1.42			248.12 m²
45.87	4.70	SC	Building Footprint	430.72
56.23	5.76	SC	Driveway	204.86
130.39 m²	13.36	SC	Unit Paving	89.22





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New 3 Unit Development

for: **Heisei P/L**
at: **31 Flounder Road Ettalong Beach NSW 2257**
lot: 16 dp: 5298

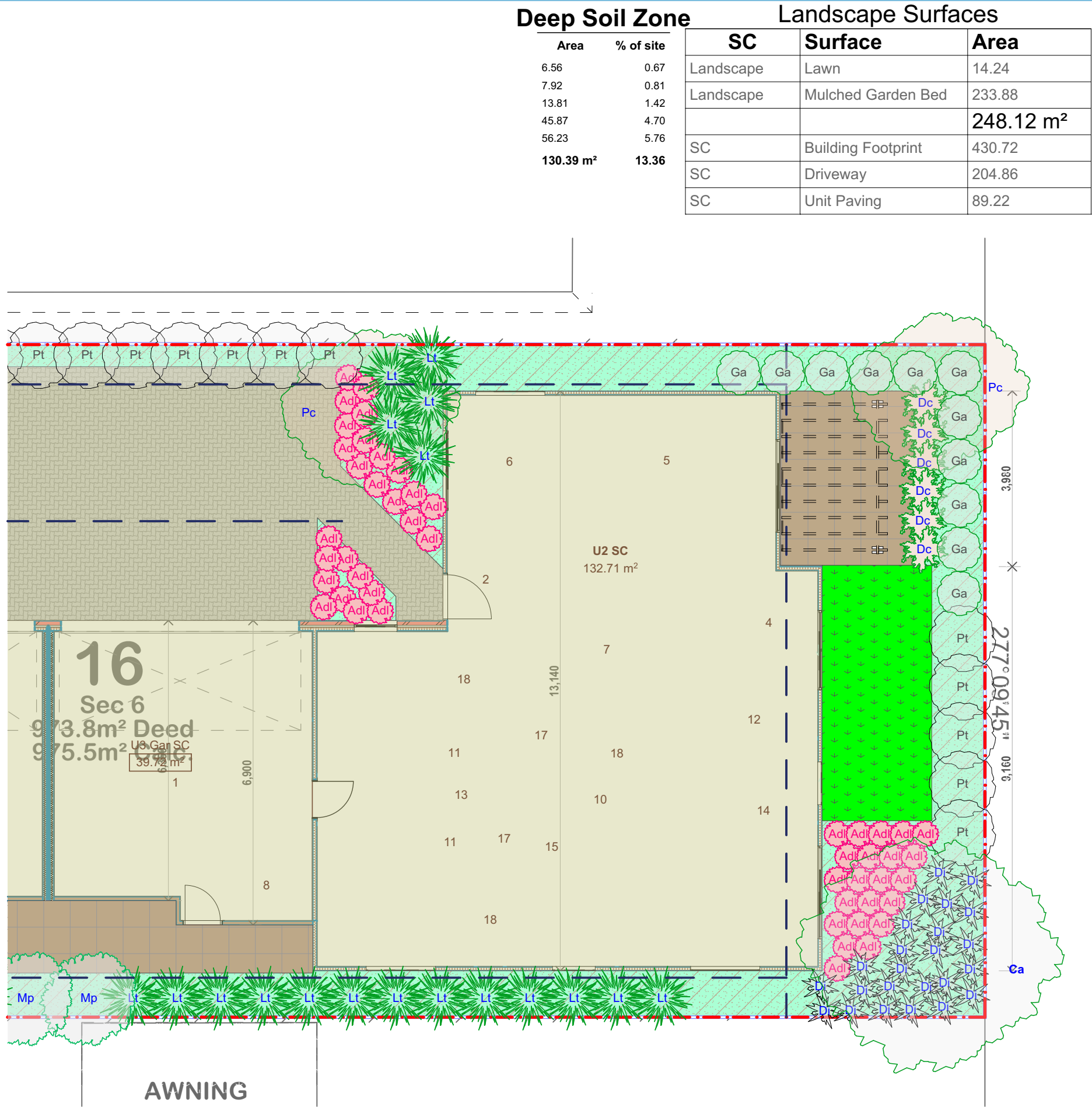
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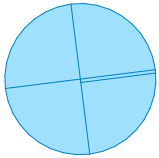
LANDSCAPE PLAN U2

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drawn: ARF		
checked: DR		
print date: 6/08/2026		
scale @ A3:		

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PLANT SCHEDULE						
Symbol	ID	Scientific Name	Common Name	Height	Qty	Pot Size
	Adl	Alternanthera dentata - Always Red	Alternanthera - Always Red	500	108	140mm
	PeA			700	10	
	Di	Dietes iridioides 'Lent A. Williamson'	Tall Bearded Iris	700	24	Tube Stock
	Dc	Dianella Explorer™ - Flax Lily	Dianella	900	52	Tube stock
	Lt	Lomandra hystrix	Mat Rush	900	63	140mm
	Ga	Gardenia Augusta 'Florida'	Gardenia	1,000	11	140mm
	Wf	Westringia Fruticosa 'Naringa'	Native Rosemary	1,000	7	140mm
	Mp	Murraya paniculata	Orange Jessamine	1,800	10	140mm
	Sa	Syzigium australe 'Pinnacle'	Lilly Pilly 'Pinnacle'	2,150	83	140mm
	Pt	Pittosporum tenuifolium	Pittosporum - Screen Master	3,000	23	200mm
	Pc	Pyrus calleryana Chanticleer	Ornamental pear	8,000	4	25L
	Ca	Cupaniopsis anacardioides	Tuckeroo	8,000	3	25L





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New 3 Unit Development

for:
Heisei P/L

at:
31 Flounder Road Ettalong Beach NSW 2257

lot: 16 dp: 5298

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03	Issue to client for signoff	15/07/2026
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05	DA issued	29/07/2026

LANDSCAPE PLAN U3

BASIX Cert: #BASIX Cert #

BAL Rating: N/A

drawn: ARF

checked: DR

print date: 6/08/2026

scale @ A3:

Issue:

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sheet #:

25770-A3-15

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NOTES

- 1.02.04 Waste management
- The method of disposal for all demolished structures and vegetation shall be as per the approved Waste Management Plan.
- 31.00.01 Landscape General
- All dimension details and levels on site are to be checked prior to commencement of any work or ordering of materials.
 - Dimensions shall be read in preference to scale.
 - All construction shall be in accordance with relevant Australian Standards and the ordinances and by-laws of various authorities concerned.
- 31.02.01 Mulched Garden Beds - by owner
- Mulch all beds with a composted mix or aged pine bark. Check pH levels are close to neutral and adjust if necessary.

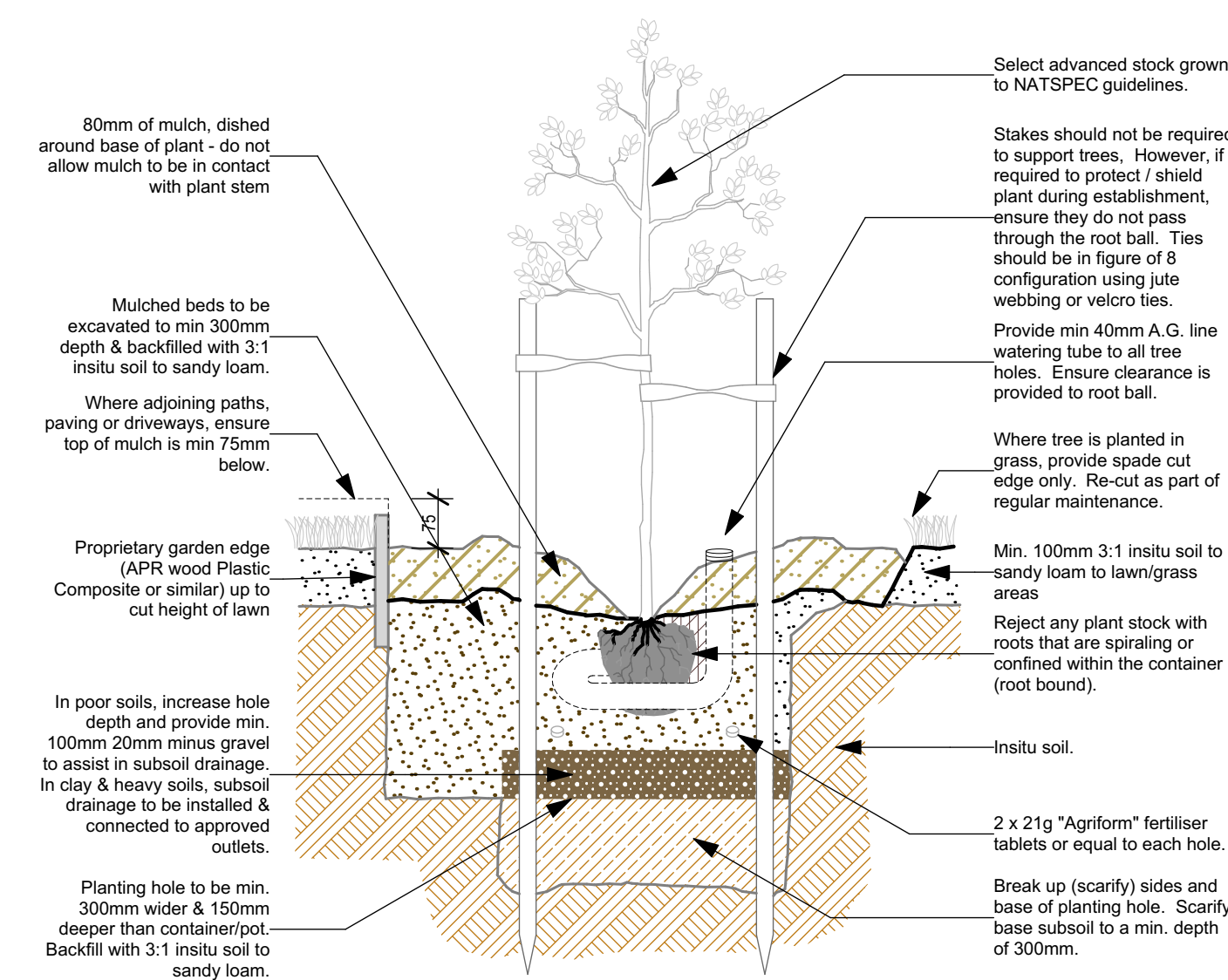
- Lay mulch to a depth of 80mm but ensure mulch is not in contact with stems and trunks of vegetation.
- Mulch all beds with a composted mix or aged pine bark. Check pH levels are close to neutral and adjust if necessary. Lay mulch to a depth of 80mm but ensure mulch is not in contact with stems and trucks of vegetation.
 - Cultivate all proposed planting beds as per detail
 - Provide maintenance for a min period of 52 weeks with emphasis on weed removal, pest & disease control, water regime and debris removal. Replace any failed plant stock during this period.
- 31.02.02 Planting - refer to Planting Details
- Prior to final location of trees on site, ensure all services have been identified and located, and trees are not planted directly in front of windows. Install Root Control Barriers to all trees planted adjacent to driveways, paths and services (underground). Use 'Rootstop' RS 600 or equivalent. Install

- as per manufacturers instructions.
- Apply a slow release fertiliser (suitable for use on Australian natives as applicable) after six months of establishment. Supplement feed with a liquid fertiliser bi-annually.
- 31.02.03 Irrigated lawn - refer to Landscape Details
- Supply: Deliver the turf within 24 hours of cutting, and lay it within 36 hours of cutting. Prevent the turf from drying out between cutting and laying. If it is not laid within 36 hours of cutting, roll it out on a flat surface with the grass up, and water as necessary to maintain a good condition.
- Laying: Lay the turf in the following manner:
- In stretcher pattern with the joints staggered and close butted.
 - Parallel with the long sides of level areas, and with contours on slopes.
 - To finish flush, after tamping, with adjacent

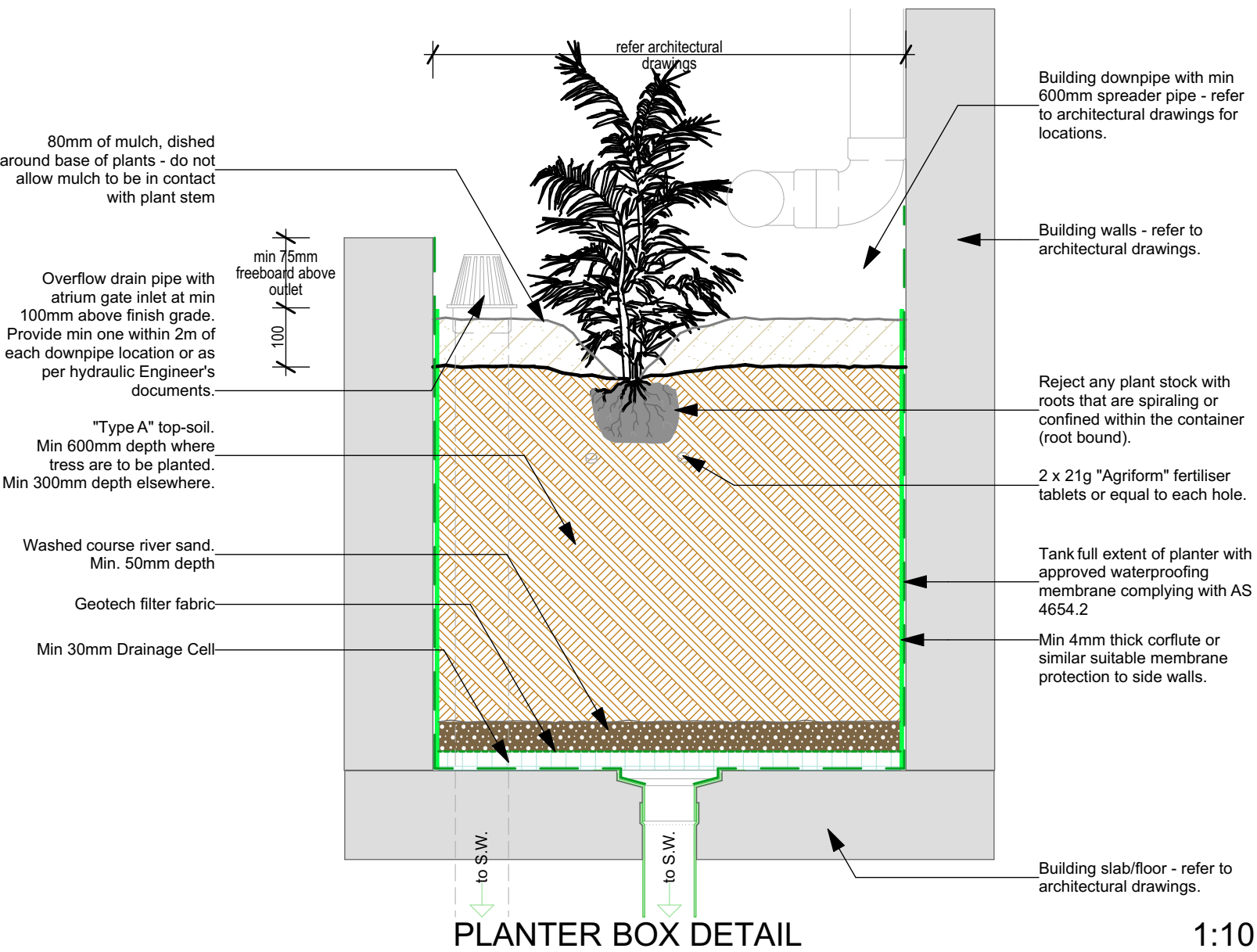
- finished surfaces of ground, paving edging, or grass seeded areas.
- Levels: Where levels have deviated from the design levels after placing and watering, lift turf and regrade topsoil to achieve design levels.
- 31.03.02 New driveway between road & boundary
- All driveways between the site boundary and the road to be in accordance with Council's Civil Works Specifications & Drawings.
- 31.03.03 New internal driveway
- All driveways within the site boundary to be coloured concrete in accordance with the Landscape Plan. Refer to Civil Engineer's drawings for gradients, levels etc
- 31.03.10 Selected Paving
- Provide pavers of clay, natural stone or concrete masonry, purpose-made for use as paving, or units made for bonded masonry construction but suitable for

- paving.
- Concrete and Clay segmental pavers: To AS/NZS 4455.2. Requirement: Minimum thickness 40 mm.
- Provide sand bedding and joint filling: Well graded and free of deleterious materials such as soluble salts which may cause efflorescence.

- 31.00.01 Landscape General
- All dimension details and levels on site are to be checked prior to commencement of any work or ordering of materials.
 - Dimensions shall be read in preference to scale.
 - All construction shall be in accordance with relevant Australian Standards and the ordinances and by-laws of various authorities concerned.



TREE PLANTING & MULCHED BED DETAIL 1:10



PLANTER BOX DETAIL 1:10

Design Practitioner Registration

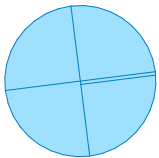
Registration number: DEP0002563

Issue to: David Rowe

Issue date: 30 Jan 2022

Expiry date: 29 Jan 2027 (unless surrendered or cancelled)

I hereby certify this concept Landscape design



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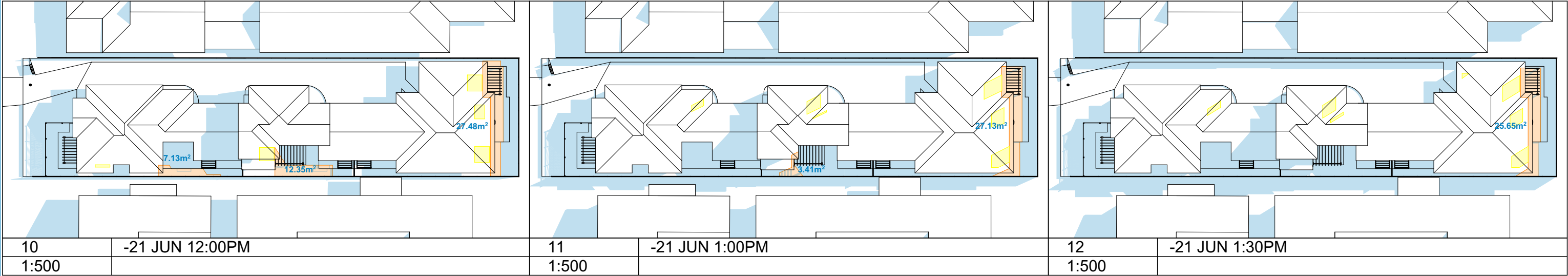
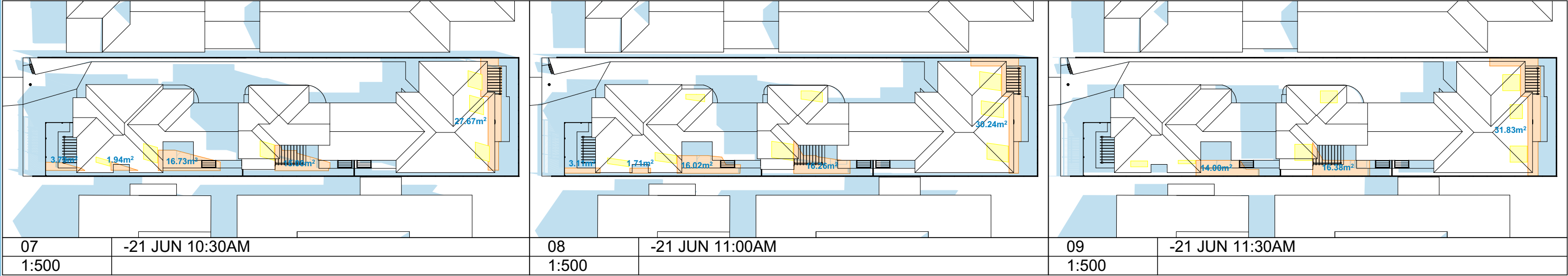
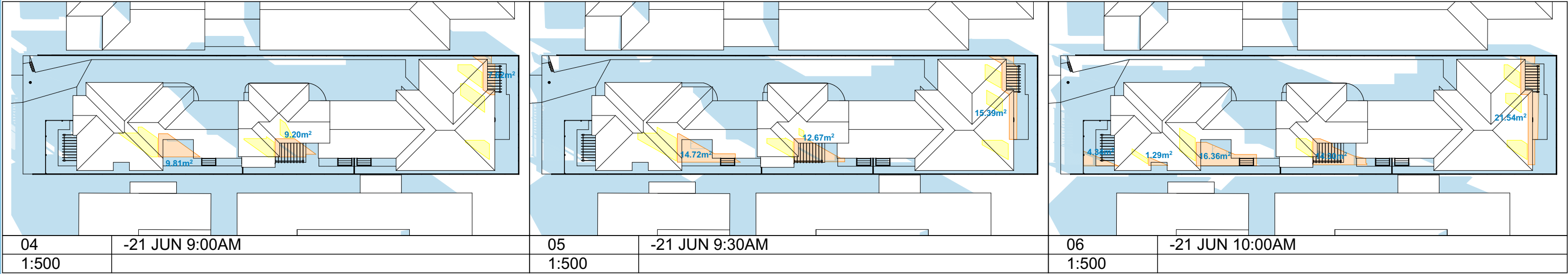
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LANDSCAPE DETAILS

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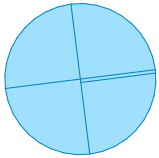
Issue: sheet #:

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NOTE

• Locations, heights, and dimensions of all existing elements on neighbouring lands depicted in these drawings are an estimate only, and have been ascertained using aerial photography, site observations, and other publically available information. The designer does not warrant the accuracy of such information and information shown is indicative only.
• Ground levels of both the subject site & neighbouring lands depicted have been ascertained from survey information available. Actual site conditions shall be verified prior to construction.



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SHADOW DIAGRAMS 1

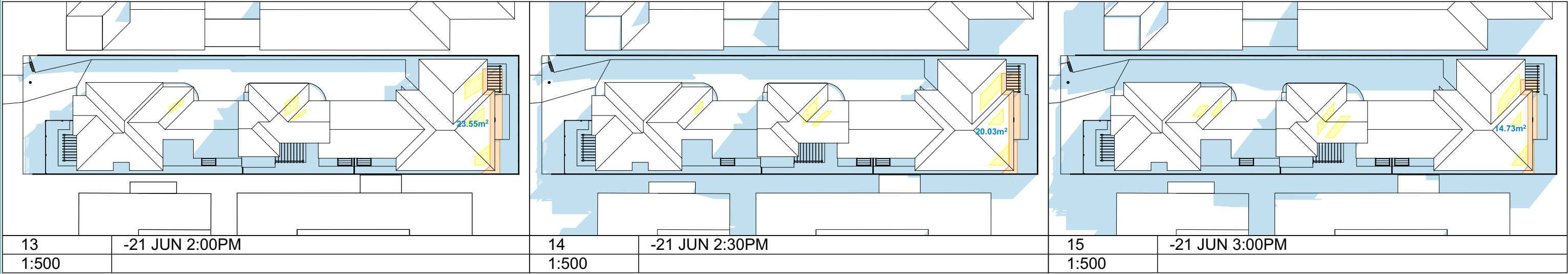
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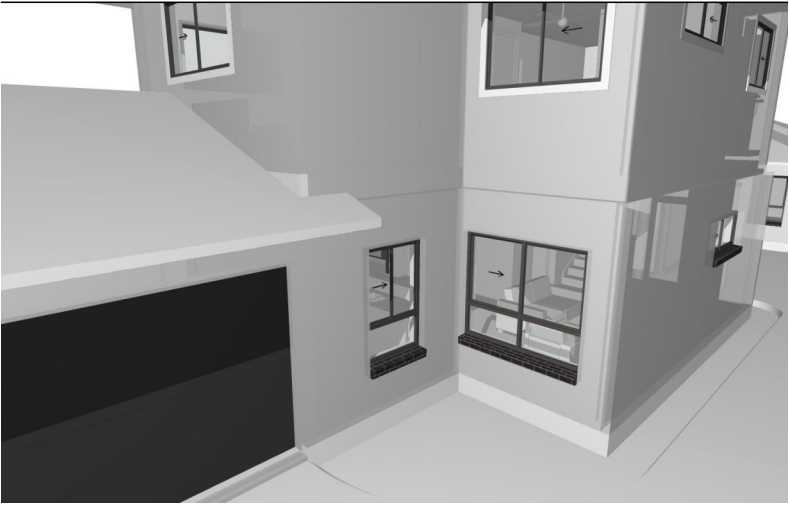
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A3-17



Unit 2 Living (1pm)



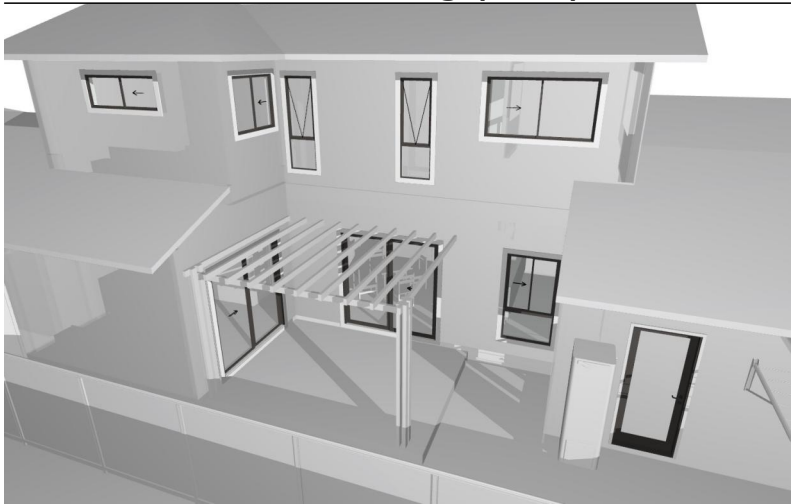
Unit 2 Living (2pm)



Unit 3 Living (11am)



Unit 2 Living (9am)

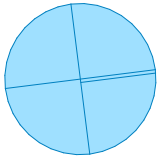


Unit 1 Living (11am)



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New 3 Unit Development

for:
Heisei P/L
at:
31 Flounder Road Ettalong Beach NSW 2257
lot: 16 dp: 5298

REV	Issue	Date
01	Prelim DA Issue	6/07/2026
02	Issue to BSA	10/07/2026
03	Issue to client for signoff	15/07/2026
04	Abridged set to BSA	27/07/2026
05	DA issued	29/07/2026

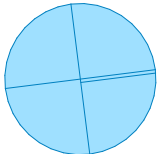
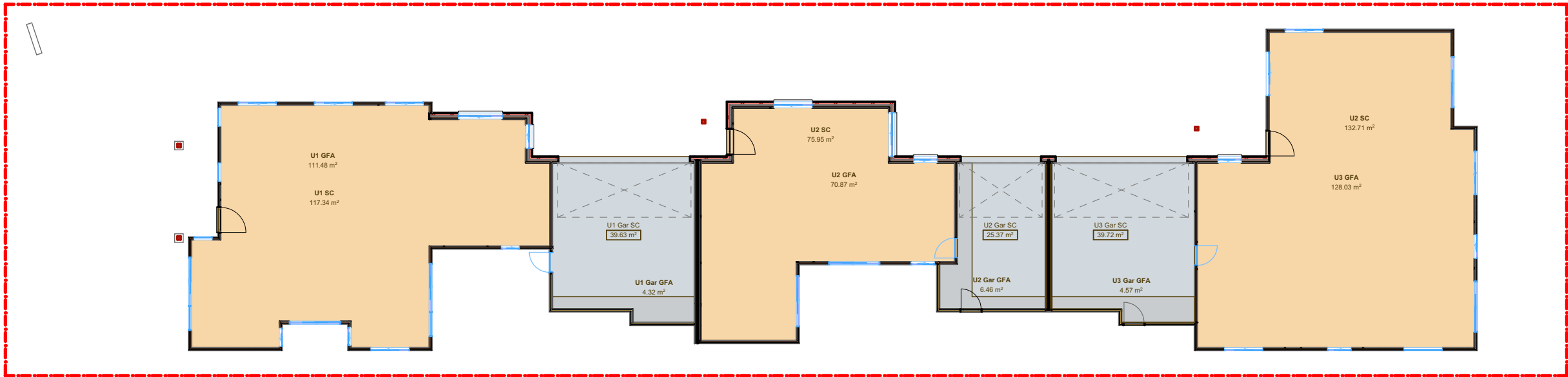
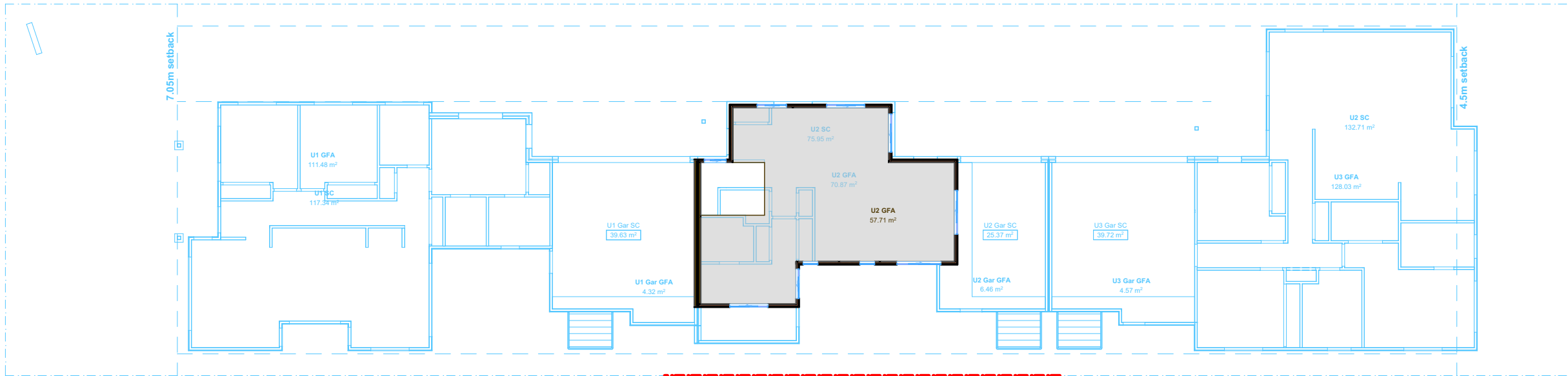
SHADOW DIAGRAMS 2

BASIX Cert: #BASIX Cert #
BAL Rating: N/A
drawn: ARF
checked: DR
print date: 6/08/2026
scale @ A3:

Issue:	sheet #:
05	25770- A3-18

GFA

	Area	% of site
U1 GFA GAR	4.32	0.44
U1 GFA GF	111.48	11.43
U2 GFA GAR	6.46	0.66
U2 GFA GF	70.87	7.26
U2 GFA GF	57.71	5.92
U3 GFA GAR	4.57	0.47
U3 GFA GF	128.03	13.12
	383.44 m²	39.30



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GFA PLAN

BASIX Cert: #BASIX Cert #
BAL Rating: N/A
drawn: ARF
checked: DR
print date: 6/08/2026
scale @ A3:

Issue:

05

sheet #:

25770-
A3-21

2.04.34 70x45 roof battens at 900crs.
70x45 MGP10 roof battens at 900crs.
4.00.01 Roof pitch 21° degrees
All roofs 21° unless noted otherwise.
4.01.01 COLORBOND® CUSTOM ORB® roofing (min 5°)
0.48 bmt CUSTOM ORB® COLORBOND® roofing installed to manufacturer's instructions & AS1562.
4.02.01 COLORBOND® roll-top roof cappings
0.55mm bmt COLORBOND® Roll Top cappings, flashings & valley gutters to match roofing installed to manufacturer's instructions & AS1562.
4.03.01 COLORBOND® fascias & half-round gutters
COLORBOND® NOVALINE® fascia & half-round gutters installed to manufacturer's specification & AS1562.
4.04.02 FC soffit to 600mm eave & gable overhangs

Eave & gable overhangs to be 600mm wide unless noted otherwise. Painted HardieFlex™ 4.5mm FC soffit with proprietary joiner strips, fixed to timber framing. Timber soffit framing and spacings to AS1684 & soffit manufacturer's instructions.
7.01.05 55mm building blanket insulative sarking
55mm building blanket insulative sarking to all roofs installed to manufacturer's documents

31 Flounder Road Ettalong Beach

SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate.
Refer to the CURRENT BASIX Certificate for Complete details.
For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

Fixtures

4 Star Shower Heads	Yes (> 6 but <= 7.5 L/min)		
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes

Alternative Water

Minimum Tank Size (L)	1000	Collected from Roof Area (m2)	70
-----------------------	------	-------------------------------	----

Tank Connected To:

All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		

THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans

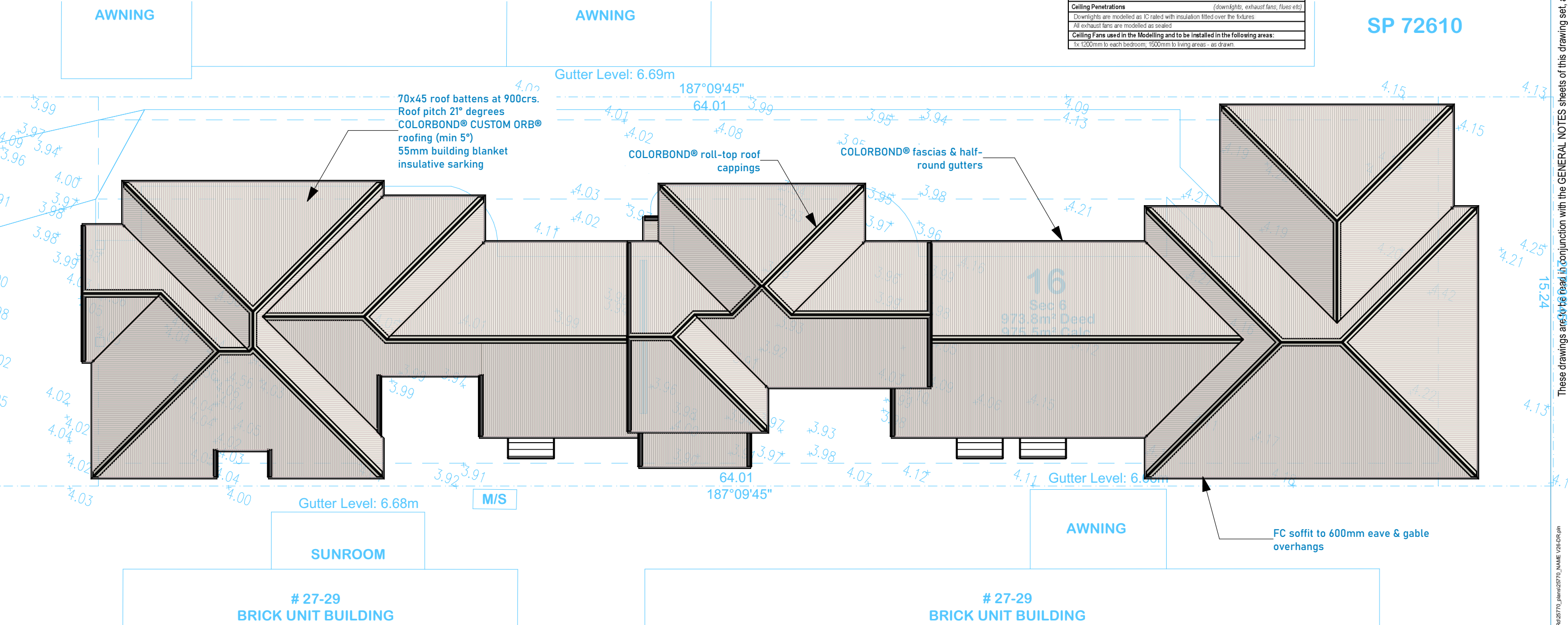
ENERGY COMMITMENTS

Hot Water	Heat Pump	15 to 20 STCs	
Cooling System	Living	1 Phase A/C (not ducted)	3 Star
	Bedrooms	No Cooling System	
Heating System	Living	1 Phase A/C (not ducted)	3 Star
	Bedrooms	No Heating System	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Natural ventilation	
Natural Lighting	Window/Skylight in Kitchen		As drawn
	Window/Skylight in Bathrooms/Toilets		As drawn

OTHER COMMITMENTS

Outdoor clothes line	Yes	
Stove/Oven		Induction cooktop & electric oven
Alternative Energy	n/a	

July 2026		BSA Reference: 21387	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not override the BCA and the NSW variations must be complied with.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Colour (Solar Absorbance)	Added Insulation
Brick Veneer & Lightweight		As noted on plans	R2.5
Internal Wall Construction			Added Insulation
Plasterboard on studs		R2.5 to walls adjacent to garage	
Plasterboard on studs		R2.5 to walls adjacent to bath - ensuite excluded - U1 only	
Plasterboard + studs + shaft liner + studs + Plasterboard (party walls)		R2.0 + R2.0	
Ceiling Construction			Added Insulation
Plasterboard		R4.0 to ceilings adjacent to roof space	
Roof Construction		Colour (Solar Absorbance)	Added Insulation
Metal		Surfmist (SA 0.33)	Foil + R1.3 blanket
Floor Construction		Covering	Added Insulation
Concrete (375mm Waffle pod)		As drawn	None
Timber		As drawn	None
Timber floor coverings to living areas:			
Windows	Glass and frame type	U value	SHGC Range Area sq m
Performance glazing Type A		4.50	0.47 - 0.53 to U1 & 2
Performance glazing Type B		4.50	0.58 - 0.64 to U1 & 2
ALM-001-01 A Aluminium A SG Clear		6.70	0.54 - 0.60 to U3
ALM-002-01 A Aluminium B SG Clear		6.70	0.67 - 0.74 to U3
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors. Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights	Glass and frame type	U SHGC	Area sq m Detail
n/a			
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified			
Shade elements		(eaves, verandahs, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
Downlights are modelled as IC rated with insulation fitted over the fixtures			
All exhaust fans are modelled as sealed			
Ceiling Fans used in the Modelling and to be installed in the following areas:			
1x 1200mm to each bedroom; 1500mm to living areas - as drawn.			



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ROOF PLAN

BASIX Cert: #BASIX Cert #	Issue: 05	sheet #: 25770-A3-26
BAL Rating: N/A		
drawn: ARF		
checked: DR		
print date: 6/08/2026		
scale @ A3:		

These drawings are to be read in conjunction with the GENERAL NOTES sheets of this drawing set, and any specifications provided in relation to the "Project" by Howard Leslie & Associates.

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NOTES

0. GENERAL NOTES

0.00.02 External Materials
Generally, new external materials are to match existing as closely as practicable. Refer to External Materials Schedule for indicative colours.

3. EXTERNAL WALL MATERIALS

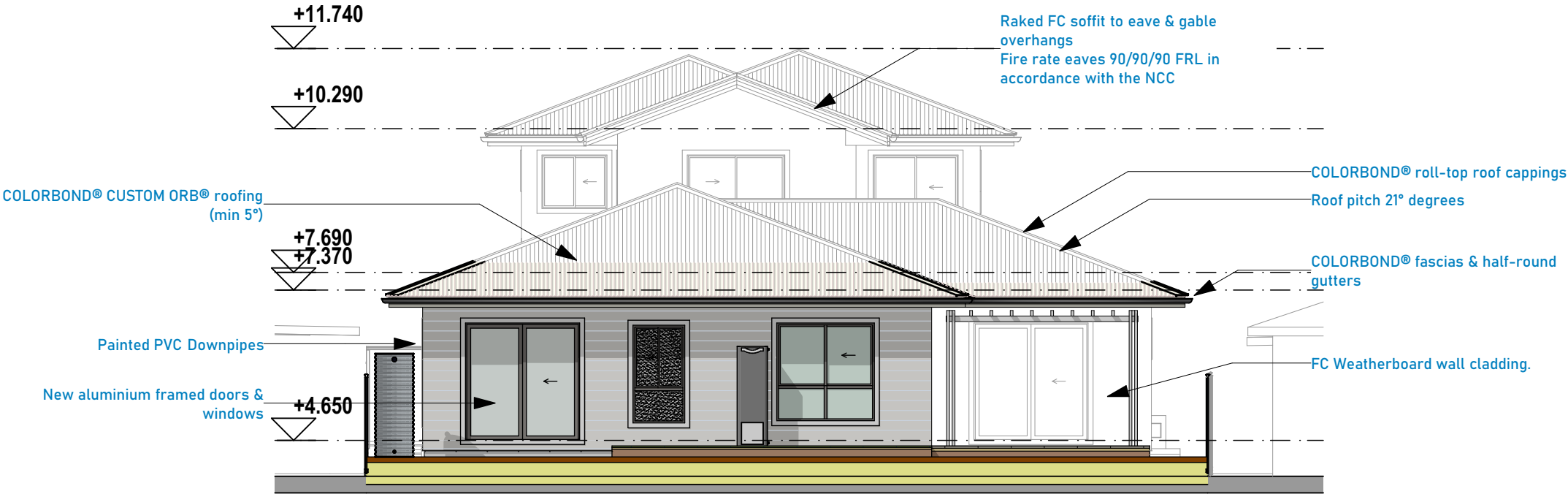
3.03. CLADDING
3.03.01 FC Weatherboard wall cladding.
James Hardie Linea 180 clad walls. Cladding to be installed to manufacturer's instructions on 20mm FC cavity batten system over breathable membrane.

4. ROOFING & FITTINGS

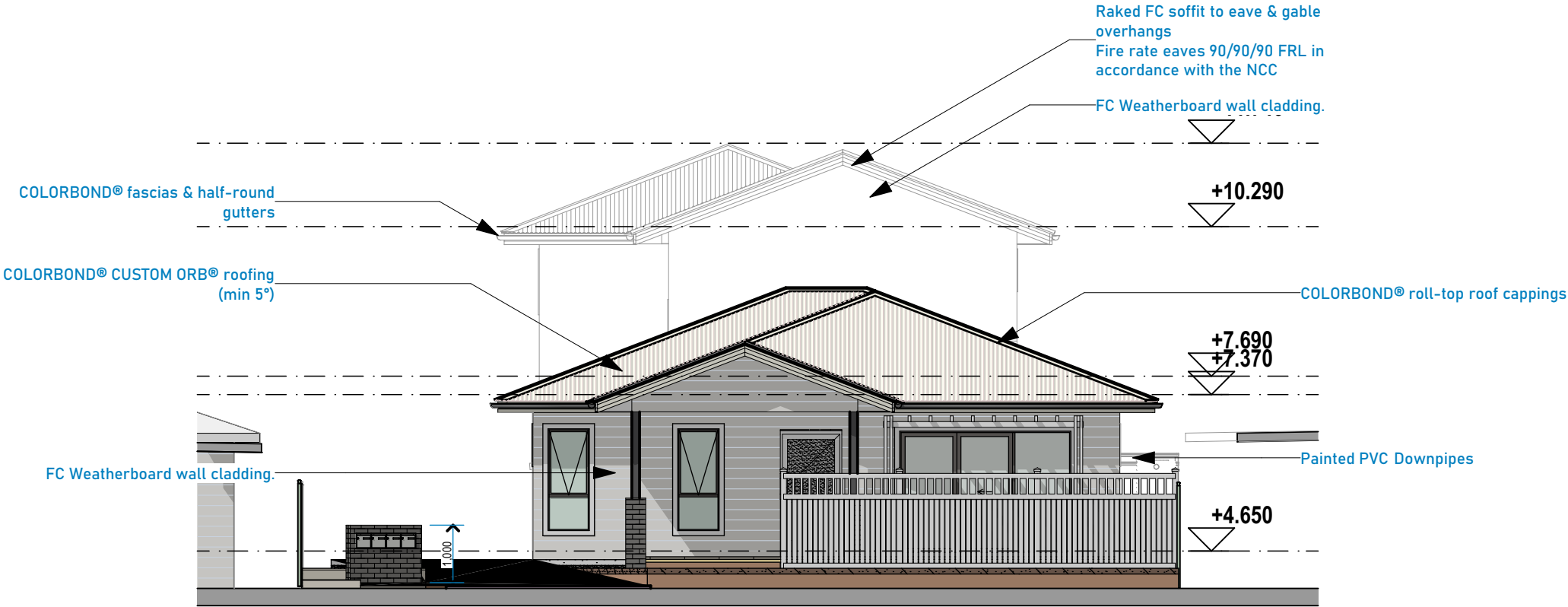
4.00.01 Roof pitch 21° degrees
All roofs 21° unless noted otherwise.
4.01. ROOFING
4.01.000. COLORBOND® ROOFING
4.01.01 COLORBOND® CUSTOM ORB® roofing (min 5°)
0.48 bmt CUSTOM ORB® COLORBOND® roofing installed to manufacturer's instructions & AS1562.
4.02. CAPPINGS & FLASHINGS
4.02.01 COLORBOND® roll-top roof cappings
0.55mm bmt COLORBOND® Roll Top cappings, flashings & valley gutters to match roofing installed to manufacturer's instructions & AS1562.
4.03. ROOF PLUMBING
4.03.01 COLORBOND® fascias & half-round gutters
COLORBOND® NOVALINE® fascia & half-round gutters installed to manufacturer's specification & AS1562.
4.03.10 Painted PVC Downpipes
90mm dia. uPVC downpipes installed to AS3500. Refer to BASIX Certificate for connections to rain water tank.
4.04. EAVES
4.04.03 Raked FC soffit to eave & gable overhangs
Raked eave & gable overhangs with painted HardieFlex™ 4.5mm FC soffit with proprietary joiner strips, fixed to timber framing. Timber soffit framing and spacings to AS1684 & soffit manufacturer's instructions.
4.04.10 Fire rate eaves 90/90/90 FRL in accordance with the NCC
Fire rate eaves and roof/wall junction to maintain 90/90/90 FRL in accordance with the NCC

5. FENESTRATION & GLAZING

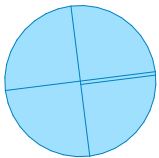
5.01. WINDOWS & GLAZED DOORS
05.01.01 New aluminium framed doors & windows
AWS powdercoated aluminium framed glazed windows & doors. Refer to Window schedule & BASIX Certificate for performance requirements. Glazing system shall comply with AS1288 & AS2047



N NORTH (REAR) ELEVATION
A3-20 1:100



S SOUTH (FRONT) ELEVATION
A3-20 1:100



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N & S ELEVATION

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Issue:

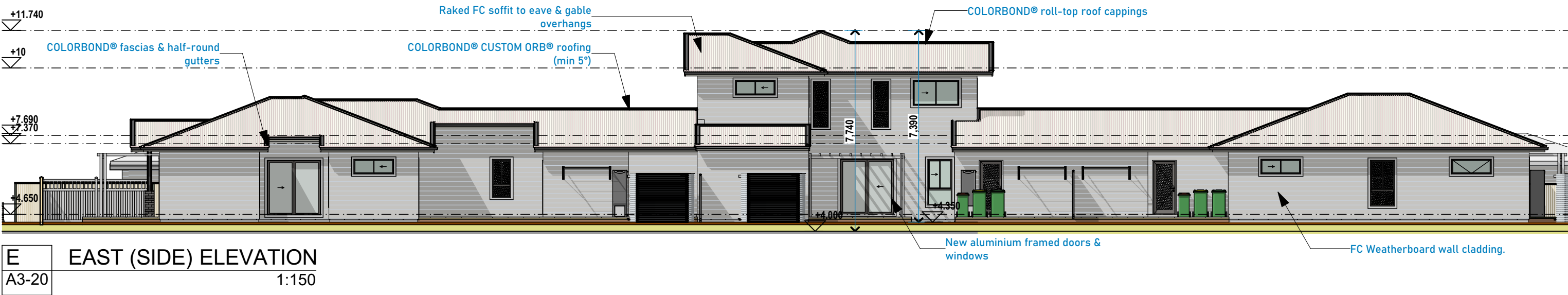
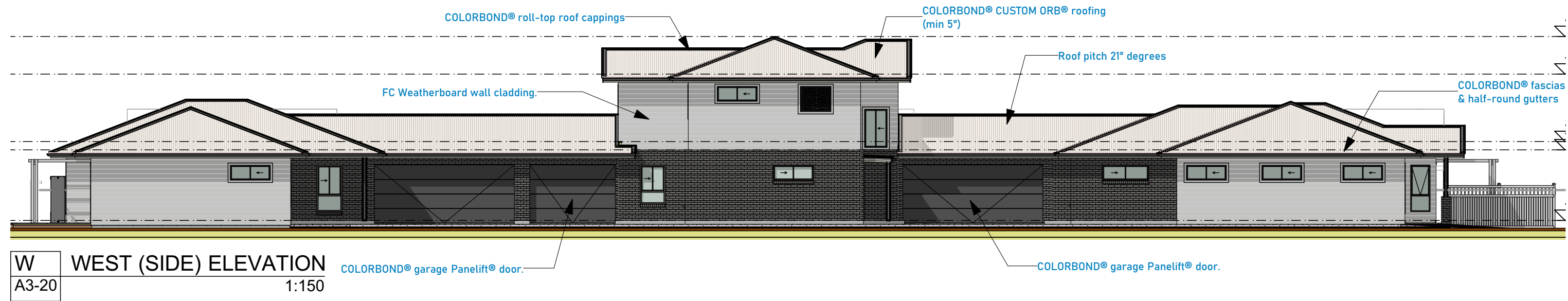
05

sheet #:

25770-
A3-40

NOTES

- 0.00.02 External Materials
Generally, new external materials are to match existing as closely as practicable. Refer to External Materials Schedule for indicative colours.
3.03.01 FC Weatherboard wall cladding.
James Hardie Linea 180 clad walls. Cladding to be installed to manufacturer's instructions on 20mm FC cavity batten system over breathable membrane.
4.00.01 Roof pitch 21° degrees
All roofs 21° unless noted otherwise.
4.01.01 COLORBOND® CUSTOM ORB® roofing (min 5°)
0.48 bmt CUSTOM ORB® COLORBOND® roofing installed to manufacturer's instructions & AS1562.
4.02.01 COLORBOND® roll-top roof cappings
0.55mm bmt COLORBOND® Roll Top cappings, flashings & valley gutters to match roofing installed to manufacturer's instructions & AS1562.
4.03.01 COLORBOND® fascias & half-round gutters
COLORBOND® NOVALINE® fascia & half-round gutters installed to manufacturer's specification & AS1562.
4.04.03 Raked FC soffit to eave & gable overhangs
Raked eave & gable overhangs with painted HardieFlex™ 4.5mm FC soffit with proprietary joiner strips, fixed to timber framing. Timber soffit framing and spacings to AS1684 & soffit manufacturer's instructions.
05.01.01 New aluminium framed doors & windows
AWS powdercoated aluminium framed glazed windows & doors. Refer to Window schedule & BASIX Certificate for performance requirements. Glazing system shall comply with AS1288 & AS2047
6.01.02 COLORBOND® garage Panelift® door.
COLORBOND® Panelift® garage door with Controll-A-Door® installed to manufacturer's instructions.
-



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E & WS ELEVATIONS

BASIX Cert: #BASIX Cert #
BAL Rating: N/A
drawn: ARF
checked: DR
print date: 6/08/2026
scale @ A3: 1:150

Issue:

05

sheet #:

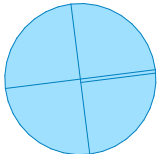
25770-
A3-41

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Type	D4	D4	D10	D10	D10	D16	D41	D41	D41	D41	D41	D41
Quantity	2	1	12	11	1	2	1	1	1	1	1	1
W x H x Wall Thickness	1,020×2,040×130	1,020×2,040×250	720×2,040×110	820×2,040×110	820×2,040×130	820×2,040×130	1,328.5×2,360×110	1,904.6×2,360×110	1,907.9×2,360×110	1,867.7×2,360×110	3,228.9×2,360×110	1,135×2,360×110
Frame type												
Glass type												
Other notes												
As viewed from outside												

Type	D41	D41	D41	D41	D41	D41	D41	U1-D3-E	U1-D3-E	
Quantity	1	1	1	1	1	1	1	2	1	45
W x H x Wall Thickness	1,851.5×2,360×110	1,200.2×2,360×110	2,562.1×2,360×110	1,481.3×2,360×110	1,400×2,360×110	1,623.5×2,360×110	1,361.5×2,360×110	5,400×2,240×250	3,300×2,240×250	
Frame type										
Glass type										
Other notes										
As viewed from outside										



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DOOR SCHEDULE

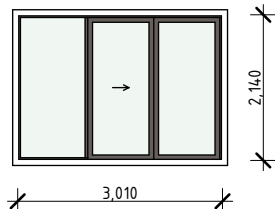
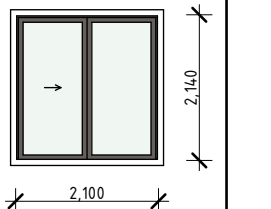
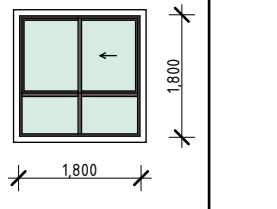
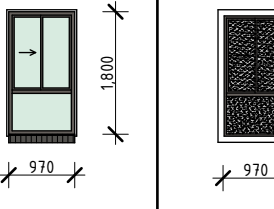
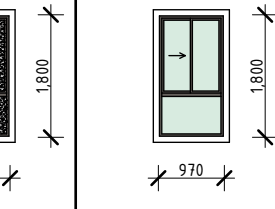
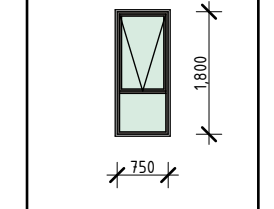
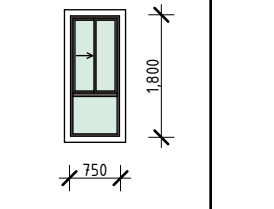
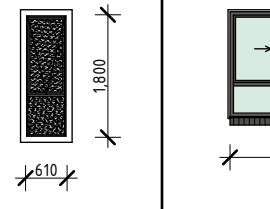
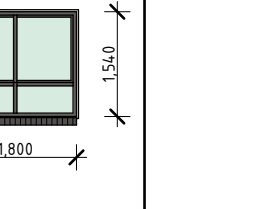
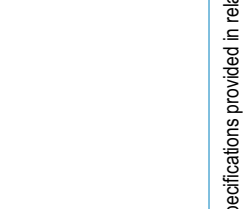
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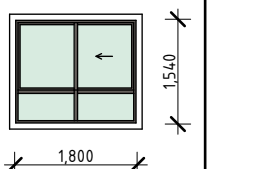
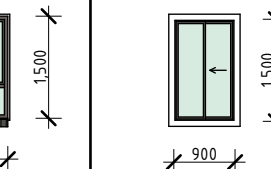
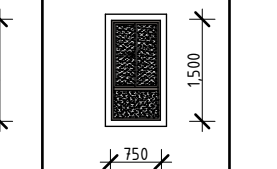
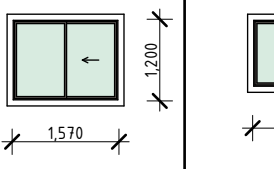
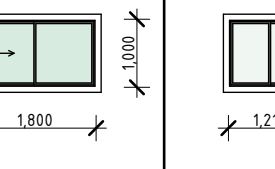
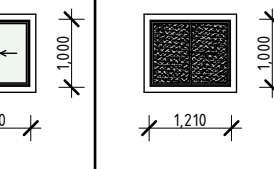
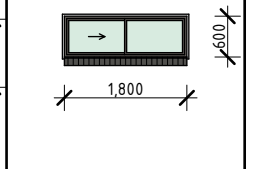
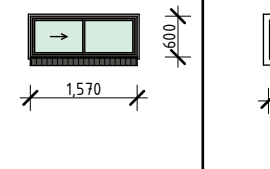
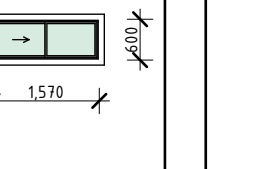
Issue:

05

sheet #:

25770-
A3-60

Type	W01		W02		W03		W05A		W05B		W05C		W6A		W06B		W07		W04A	
	2,140		2,140		1,800		1,800		1,800		1,800		1,800		1,800		1,800		1,540	
	3,010		2,100		1,800		970		970		970		750		750		610		1,800	
	2		5		1		1		2		1		3		2		2		1	
	3,010×2,140×130		2,100×2,140×130		1,800×1,800×130		970×1,800×250		970×1,800×130		970×1,800×130		750×1,800×130		750×1,800×130		610×1,800×130		1,800×1,540×250	
	Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames	
	Glass - Clear		Glass - Clear		Glass - Clear Low E		Glass - Clear Low E		Glass - Obscure		Glass - Clear Low E		Glass - Clear Low E		Glass - Clear Low E		Glass - Obscure		Glass - Clear Low E	
	Laminated		Laminated																	
																				
	As viewed from outside																			

Type	W04B		W05A		W08		W06B		W09		W10		W11A		W11B		W12		W13		W14			
	1,540		1,500		1,500		1,500		1,200		1,000		1,000		1,000		600		600		600			
	1,800		970		900		750		1,570		1,800		1,210		1,210		1,800		1,570		1,570			
	1		2		1		1		1		2		1		1		1		1		9		41	
	1,800×1,540×130		970×1,500×250		900×1,500×130		750×1,500×130		1,570×1,200×130		1,800×1,000×130		1,210×1,000×130		1,210×1,000×130		1,800×600×250		1,570×600×250		1,570×600×130			
	Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames		Window frames			
	Glass - Clear Low E		Glass - Clear Low E		Glass - Clear Low E		Glass - Obscure		Glass - Clear Low E		Glass - Clear Low E		Glass - Clear		Glass - Obscure		Glass - Clear Low E		Glass - Clear Low E		Glass - Clear Low E			
			Laminated																					
																								
	As viewed from outside																							

z

HOWARD LESLIE & ASSOCIATES

residential and commercial building design

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bdca

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED MEMBER

New 3 Unit Development

for: Heisei P/L

at: 31 Flounder Road Ettalong Beach NSW 2257

lot: 16 dp: 5298

REV	Issue	Date	WINDOW SCHEDULE	
01	Prelim DA Issue	6/07/2026	BASIX Cert: #BASIX Cert # BAL Rating: N/A drawn: ARF checked: DR print date: 6/08/2026 scale @ A3: 1:1.11	Issue: 05
02	Issue to BSA	10/07/2026		
03	Issue to client for signoff	15/07/2026		
04	Abridged set to BSA	27/07/2026		
05	DA issued	29/07/2026		
				sheet #: 25770-A3-61

These drawings are to be read in conjunction with the GENERAL NOTES sheets of this drawing set, and any specifications provided in relation to the "Project" by Howard Leslie & Associates.

C:\H\A\work\Expbox\02\Projects\25770_Flounder Rd\25770_diana\25770_NAME_V26-DR.dgn

NOTES:

- All windows to be powder coated aluminium framed.
- All windows & doors drawn as viewed from outside.
- All windows with a sill height 4m or more above natural ground to have opening restricted to 120mm.
- All sizes are nominal and shall be confirmed prior to ordering to ensure correct interface with other building elements.
- All windows & sliding doors to be key locakable.
- All opening windows and doors to be fitted with flyscreens.
- All windows and doors are to be installed to manufacturer's specifications.
- Windows are to comply with all relevant standards (inc AS2047). A wind load classification is to be confirmed by registered engineer for window manufacturer's design criteria.



- COLOURS
- Face brickwork Colour 1:
BORAL Nuv Fus Raven
 - Weatherboard Cladding Colour 1:
DULUX 4W Lexicon Half
 - Metal Roofing Colour:
COLORBOND Surf Mist
 - Facia Colour:
COLORBOND Surf Mist
 - Gutter Colour:
COLORBOND Monument
 - Barge Flashing Colour:
COLORBOND Monument
 - Window Frame Colour:
Duralloy Monument
 - Timber elements Colour:
SWIE1 Lexicon Quarter

Weatherboard Cladding Colour 1:

Metal Roofing Colour:

Facia Colour:

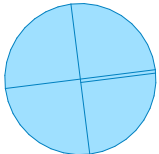
Face brickwork Colour 1:

Gutter Colour:
Barge Flashing Colour:
Window Frame Colour:

Timber elements Colour:

Dulux 4W
Lexicon® Half

Lexicon® Quarter
SW1E1



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MATERIALS SCHEDULE

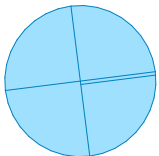
BASIX Cert: #BASIX Cert #
BAL Rating: N/A
drawn: ARF
checked: DR
print date: 6/08/2026
scale @ A3:

Issue:

sheet #:

05

25770-
A3-62



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EXTERNAL VIEWS

BASIX Cert: #BASIX Cert #
BAL Rating: N/A
drawn: ARF
checked: DR
print date: 6/08/2026
scale @ A3:

Issue:

05

sheet #:

**25770-
A3-70**