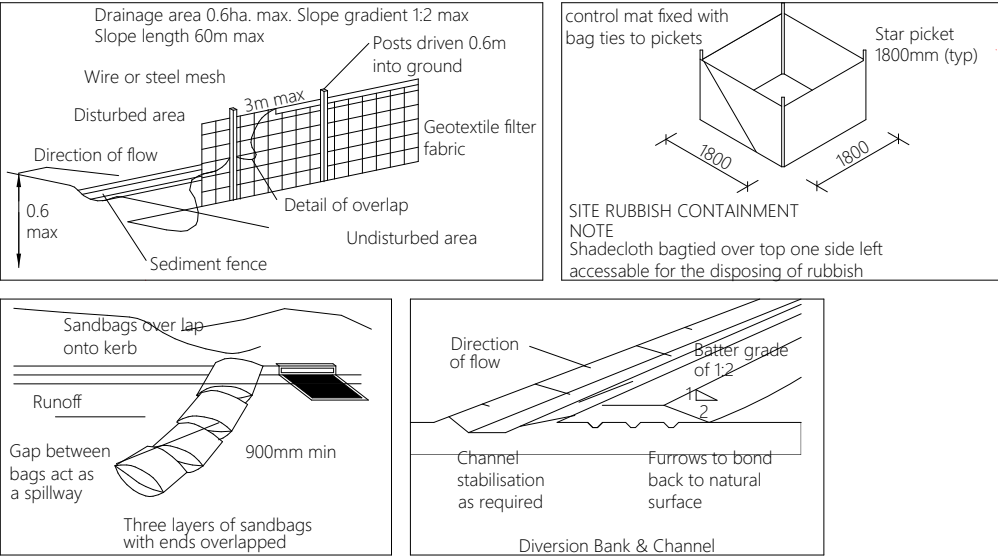


NOTE:
These drawings shall be read in conjunction with all structural & other consultants drawings & specifications and with such other written instruction as may be issued during the course of the contract.
Any discrepancies shall be referred to the building designer for decision before proceeding with the work.
Figured dimensions to be taken in preference to scaling from drawings.
During construction the building shall be maintained in a stable condition & no part shall be overstressed.
All workmanship shall be in accordance with the requirements of the SAA codes & by-laws & ordinances of the relevant building authority.
Dimensions are in millimetres.
All dimensions and levels shall be checked by the builder prior to the commencement of the works.
All timber framing sizes & spans to be in accordance with SAA timber framing code AS 1684.
All bracing of roof & wall framing to satisfy wind speed design category in accordance with BCA & AS 4055 to engineers certification.
All reinforced concrete shall be in accordance with engineers details.
Builder/developer to maintain erosion control in accordance with the clean waters act 1970.
Termite treatments in accordance with AS 3660 & AS 3660 part 1.
Builder to verify location of all services & vegetation prior to commencement of works.
All opening sizes to be confirmed on site prior to ordering of windows & doors
All Structural Steel is to be protected against corrosion in accordance with Structural Engineers recommendations.
The Waterproofing of all work is the builders responsibility.
All building work must be carried out in accordance with the Building Code of Australia



- NOTE
- 1 No vehicle crossing or stockpiling of material on vegetation buffer.
 - 2 All sedimentation control structures to be inspected & maintained by site manager daily.
 - 3 All sediment retaining structures to be cleaned on reaching 50% storage capacity.
 - 4 All existing vegetation will be retained outside the construction site.
 - 5 Clean sediments from footpaths, driveways & roads daily.
 - 6 Roof drainage via sealed pipeline to street gutter on roof completion.

NOTE:
THE LOCATION OF SERVICES ARE TO BE VERIFIED BY OBTAINING CURRENT INFORMATION FROM "DIAL BEFORE YOU DIG" (PHONE 1100) PRIOR TO DESIGN/CONSTRUCTION WORKS. ALTERNATIVELY, THE EXACT LOCATION OF SERVICES SHOULD BE DETERMINED BY FIELD SURVEY IN CONSULTATION WITH THE SERVICE AUTHORITIES WHERE DEEMED NECESSARY.

1	Cover Sheet
2	Site Analysis - Overlay
3	Site Analysis - Site Photos
4	Site Plan - Existing
5	Site Plan - Proposed
6	Ground Floor Plan - Existing
7	Ground Floor Plan - Proposed
8	Elevations - Existing
9	Elevations - Proposed
10	Elevations - Proposed
11	Section - Proposed
12	Notification Plan
13	3D Perspectives

Certification Plans

Addition / Renovation

1/16 Nowack Avenue Umina Beach NSW 2257



PLEASE NOTE
THESE PLANS HAVE BEEN COMPLETED PRIOR TO THE RECEIPT
& IMPLEMENTATION OF THE FOLLOWING REPORTS:
- DP
- 88B
- TITLE SEARCH
- S10.7 CERTIFICATE
- FLOOD CERTIFICATE (IF INDICATED BY THE S10.7)
- BUSHFIRE REPORT (IF INDICATED BY THE S10.7)
- CONTOUR SURVEY
- STRUCTURAL ENGINEERING

 DESIGN COLLECTIVE MT Design Collective Phone: 0499 488 994 www.mtdesign.com.au	 Spanline Home Additions www.spanline.com.au	#	Drawn	Revision Details	Date	Client/s			Lot Number	Project Description		CERTIFICATION PLANS THESE PLANS HAVE BEEN ACCEPTED BY: SIGNATURE: DATE: UPON ACCEPTANCE OF FINALISED PLANS NO FURTHER DESIGN CHANGES ARE TO BE MADE	SHA9861
		1	TM	CERTIFICATION PLANS	28.04.2026	John & Karen Rowberry			1	Addition / Renovation			
		2				Address			DP	Drawing Name			
		3				1/16 Nowack Avenue Umina Beach			DP1320569	Cover Sheet			
		4				Council			Drawing Scale	Drawing Status			
		5				Central Coast				Certification Plans			
		6				State							
		7				NSW							
		8				Postcode							
		9				2257							

SITE ANALYSIS
 AS PER AVAILABLE REPORTS LAND IS SUBJECT TO:
 - R1 GENERAL RESIDENTIAL
 - 8.5m MAX BUILDING HEIGHT
 - ACID SULPHATE SOILS (CLASS 5)

SUMMER SUN

WINTER SUN

HOT SUMMER WINDS

COOLING SUMMER BREEZES

COLD WINTER WINDS

NOWACK AVE

DARDENELLES AVE

OSBORNE AVE

1/16 Nowack Avenue Umina Beach NSW 2257

N
 Summer
 Winter
 W Sunset E Sunrise
 S



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1	TM	CERTIFICATION PLANS	28.04.2026
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Client/s		
John & Karen Rowberry		
Address		
1/16 Nowack Avenue Umina Beach		
Council	State	Postcode
Central Coast	NSW	2257

Lot Number	1
DP	DP1320569
Drawing Scale	

Project Description	Addition / Renovation
Drawing Name	Site Analysis - Overlay
Drawing Status	Certification Plans

<u>CERTIFICATION PLANS</u>	
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SITE LOCALITY



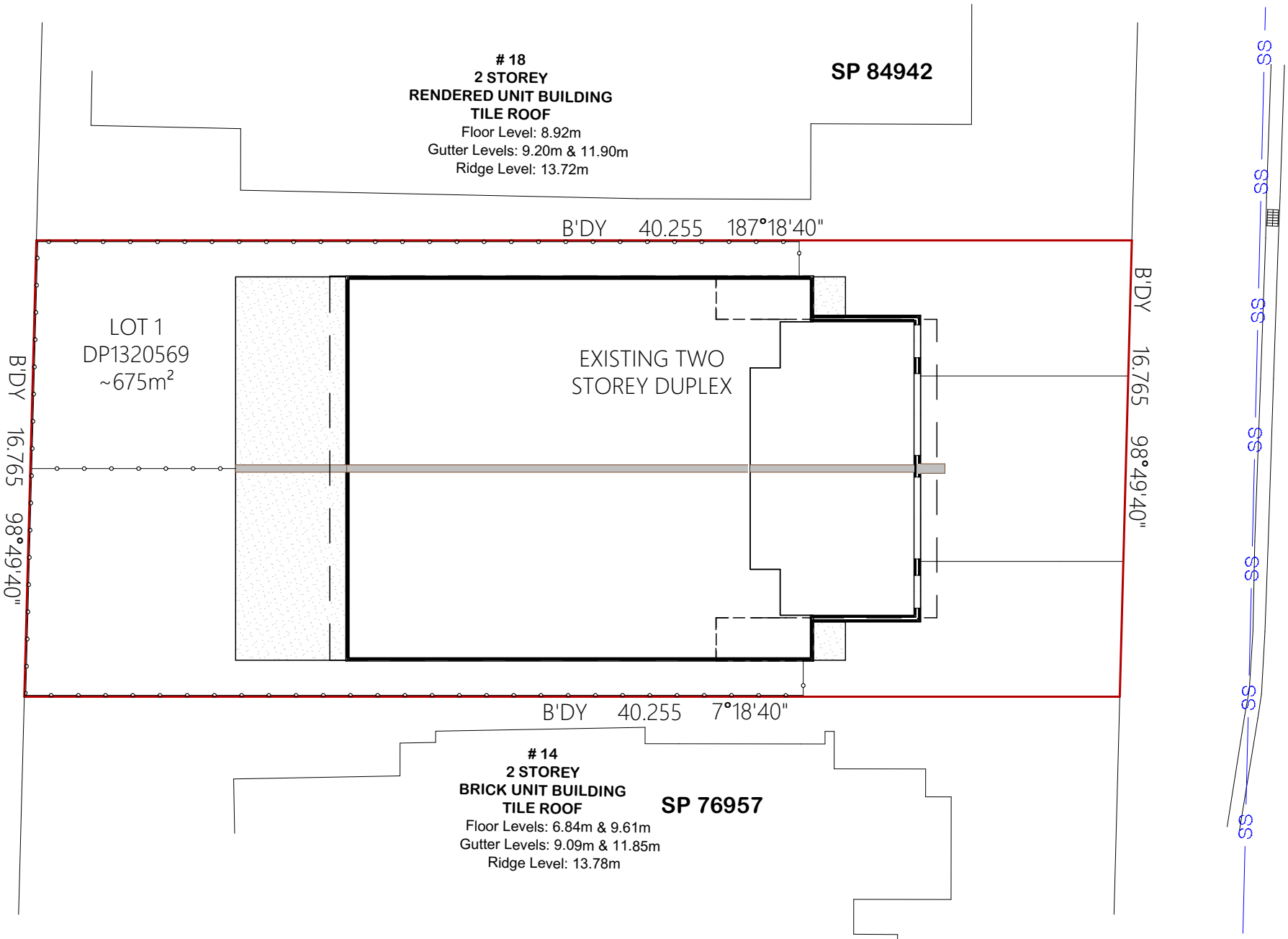
SITE PHOTOS

 DESIGN COLLECTIVE MT Design Collective Phone: 0499 488 994 www.mtcollective.com.au	 Spanline Home Additions www.spanline.com.au	#	Drawn	Revision Details	Date	Client/s			Lot Number	Project Description		CERTIFICATION PLANS THESE PLANS HAVE BEEN ACCEPTED BY: SIGNATURE: DATE: UPON ACCEPTANCE OF FINALISED PLANS NO FURTHER DESIGN CHANGES ARE TO BE MADE	SHA9861	
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THE BOUNDARY INFORMATION SHOWN IS APPROXIMATE ONLY AND HAS NOT BEEN LOCATED BY AN ACCURATE BOUNDARY SURVEY. IF ANY CONSTRUCTION RELIES ON CRITICAL SETBACKS FROM THE STREET OR BOUNDARY, IT WOULD BE IMPERITIVE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS AND SETBACKS.

PRINCIPAL CONTRACTOR TO ENSURE A PEGOUT SURVEY IS COMPLETED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION TO ENSURE MINIMUM BOUNDARY SETBACKS HAVE BEEN ACHIEVED.

SITE ANALYSIS
AS PER AVAILABLE REPORTS LAND IS SUBJECT TO:
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- 8.5m MAX BUILDING HEIGHT
- ACID SULPHATE SOILS (CLASS 5)



LEGEND

- PP - POWER POLE
- PB - POWER BOX
- SP - SERVICE POLE
- LP - LIGHT POLE
- HYD - HYDRANT
- WM - WATER METER
- SV - STOP VALVE
- SMH - SEWER MAINTENANCE HOLE
- SIO - SEWER INSPECTION OPENING
- CPT - TELECOMMUNICATIONS PIT
- GAS METER
- KERB INLET STORMWATER PIT
- GRATED STORMWATER PIT
- BENCHMARK
- TREE



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Client/s John & Karen Rowberry			
Address 1/16 Nowack Avenue Umina Beach			
Council Central Coast	State NSW	Postcode 2257	

Lot Number 1
DP DP1320569
Drawing Scale 1:200

Project Description Addition / Renovation
Drawing Name Site Plan - Existing
Drawing Status Certification Plans

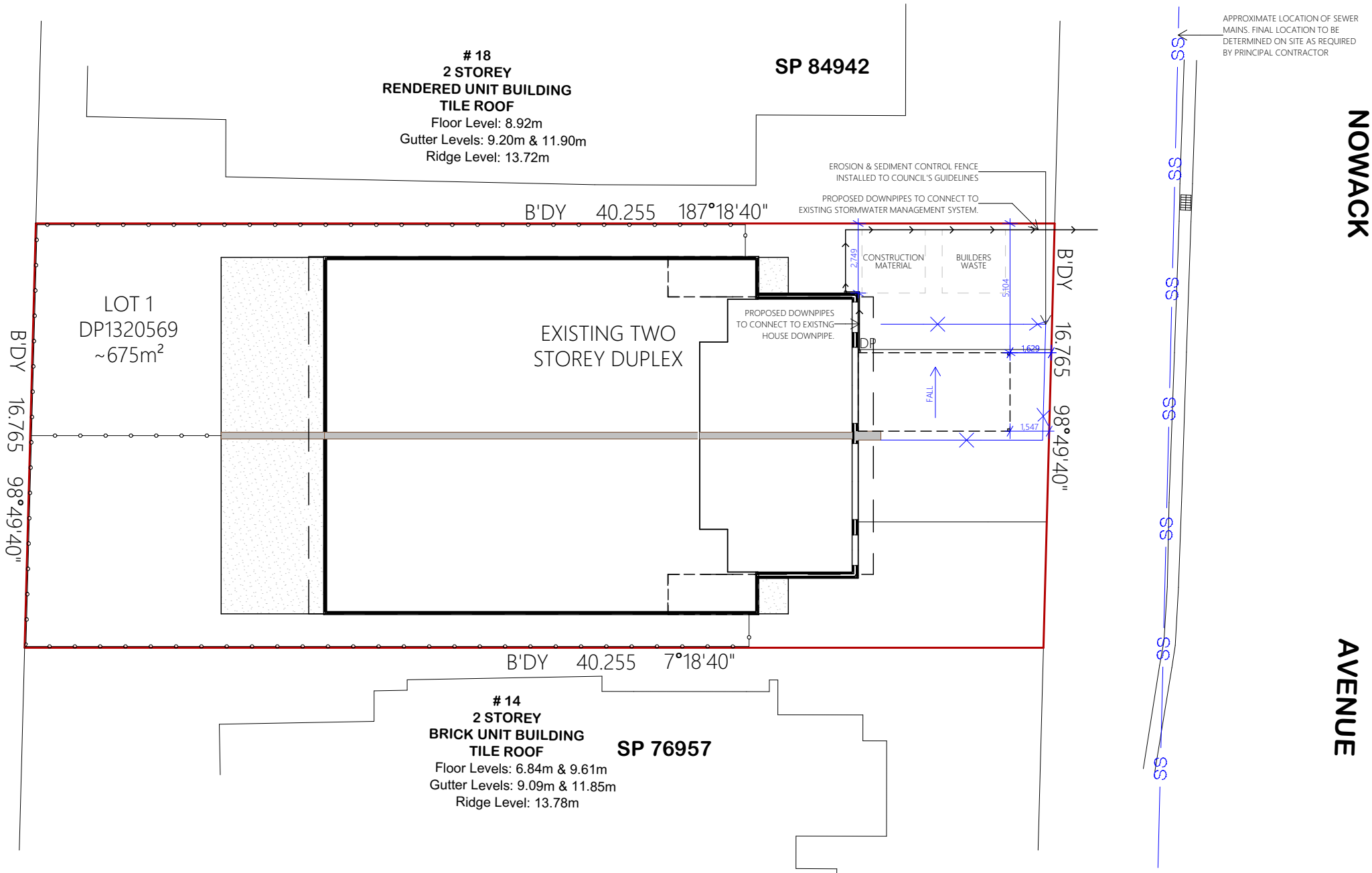
CERTIFICATION PLANS
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Client/s				Lot Number	Project Description
John & Karen Rowberry				1	Addition / Renovation
Address				DP	Drawing Name
1/16 Nowack Avenue Umina Beach				DP1320569	Site Plan - Proposed
Council		State	Postcode	Drawing Scale	Drawing Status
Central Coast		NSW	2257	1:200	Certification Plans

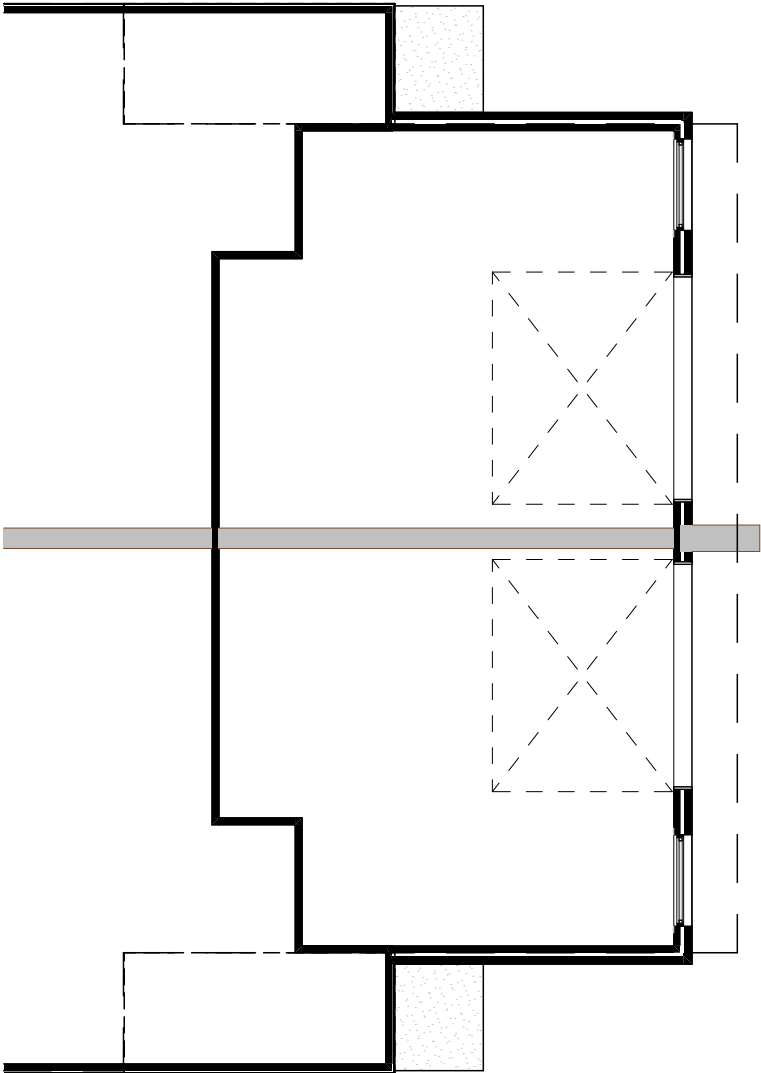
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5

- REFER TO INTERNAL DOOR SCHEDULE FOR DOOR HEIGHTS
- FIRST FLOOR BEDROOM WINDOW OPENINGS TO BE RESTRICTED AS REQUIRED BY NCC
- KITCHEN / LAUNDRY / BATHROOM DETAILS ARE REPRESENTATIVE ONLY AND WILL BE SUBJECT TO THE ASSOCIATED SUPPLIERS LAYOUT / SPECIFICATIONS
- ALL DIMENISIONS ARE TO FRAME
- WATERPROOFING TO BE COMPLETED IN ACCORDANCE WITH NCC 2022 CLAUSE 10.2 OR AS3740-2022
- WET AREA FLOOR WASTES TO BE GRADED BETWEEN 1:50 AND 1:80 PER AS 3740-2022
- FINAL LOCATION AND TYPE OF FLOOR WASTES TO BE CONFIRMED ON SITE WITH PRINCIPAL CONTRACTOR AND TO BE INSTALLED PER AS 3740-2022.
- INDUSTRY RECOMMENDATION IS TO INSTALL VESSELS WITH IN-BUILT OVERFLOW PROTECTION TO ANY WET AREAS WITHOUT A FLOOR WASTE.
- VENTILATION SHALL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 10.6 OR AS1668.2.
- MECHANICAL VENTILATION WHERE REQUIRED TO SATISFY NCC 2022 VOL. 2 PART H4 IS TO BE INSTALLED IN ACCORDANCE WITH HOUSING PROVISIONS PART 10.8.
- MECHANICAL EXHAUSTS TO BE DUCTED THROUGH EXTERNAL EAVE VENTS
- TERMITE RISK MANAGEMENT TO BE COMPLETED IN ACCORDANCE WITH AS3660-2014.
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH AS3786
- PRINCIPAL CONTRACTOR TO CONFIRM ON SITE IF STRUCTURAL FOUNDATIONS OR LOAD BEARING WALLS ARE TO BE ALTERED AS PART OF THE CONSTRUCTION AND IS TO LIAISE WITH ENGINEER / CERTIFIER AS REQUIRED.
- PRINCIPAL CONTRACTOR TO ENSURE ALL WORKS ARE COMPLETED PER THE APPROVED BUILDING SPECIFICATIONS AS PROVIDED WITHIN THE APPLICATION APPROVALS.



LEGEND

- EXISTING WALL
- PROPOSED WALL
- DEMOLISHED WALL
- DOOR OPENS FIRST
- PLUMBING STACK
- MECHANICAL EXHAUST
- SMOKE ALARM
- AC DUCTING

#	Drawn	Revision Details	Date
1	TM	CERTIFICATION PLANS	28.04.2026
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Client/s				Lot Number	Project Description	
John & Karen Rowberry				1	Addition / Renovation	
Address				DP	Drawing Name	
1/16 Nowack Avenue Umina Beach				DP1320569	Ground Floor Plan - Existing	
Council		State	Postcode	Drawing Scale	Drawing Status	
Central Coast		NSW	2257	1:100	Certification Plans	

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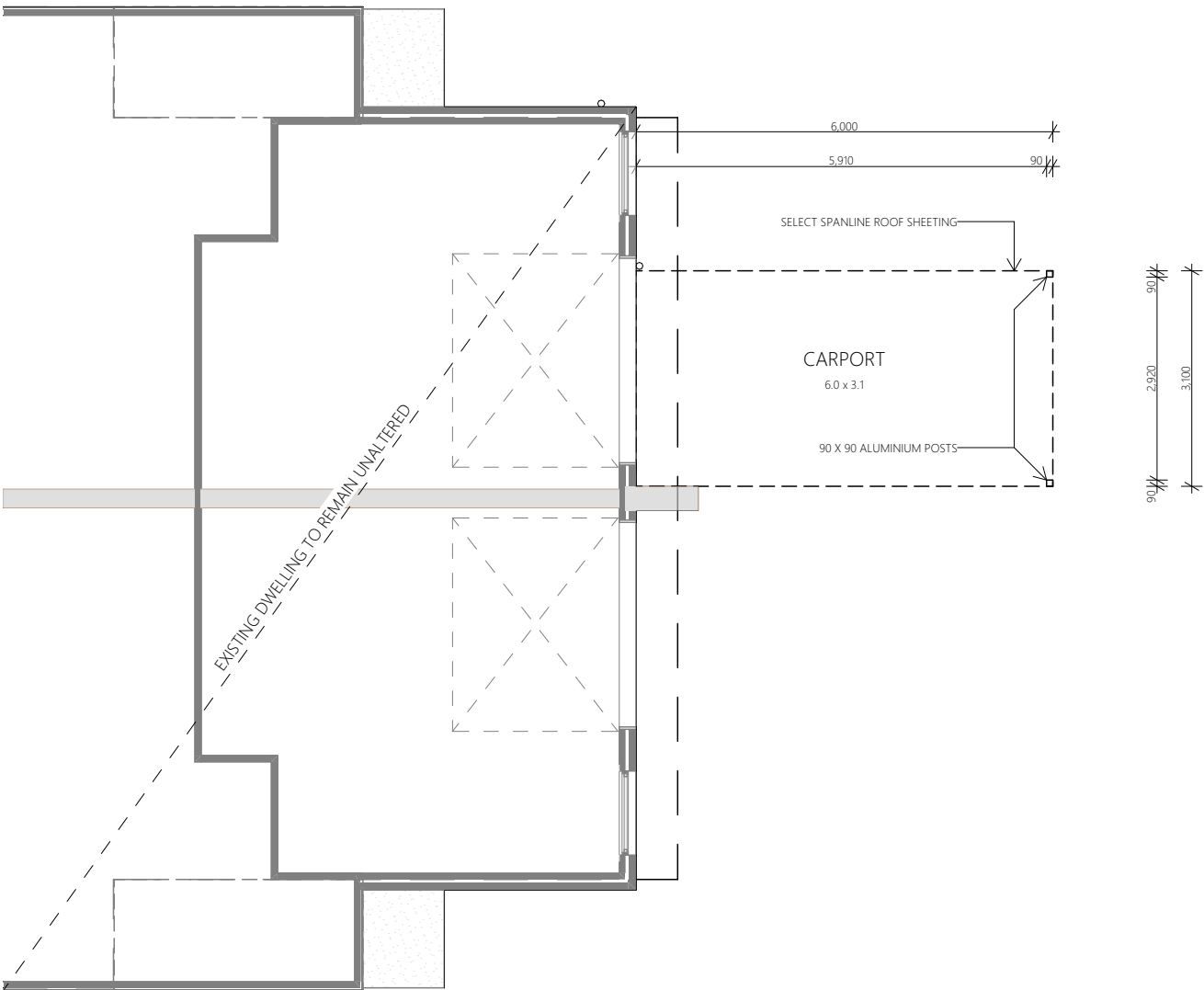
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LEGEND

- EXISTING WALL

- PROPOSED WALL

- DEMOLISHED WALL

- DOOR OPENS FIRST
- PLUMBING STACK

(EX)

- MECHANICAL EXHAUST

○ SA

- SMOKE ALARM

- AC DUCTING

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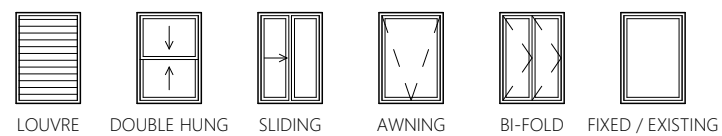
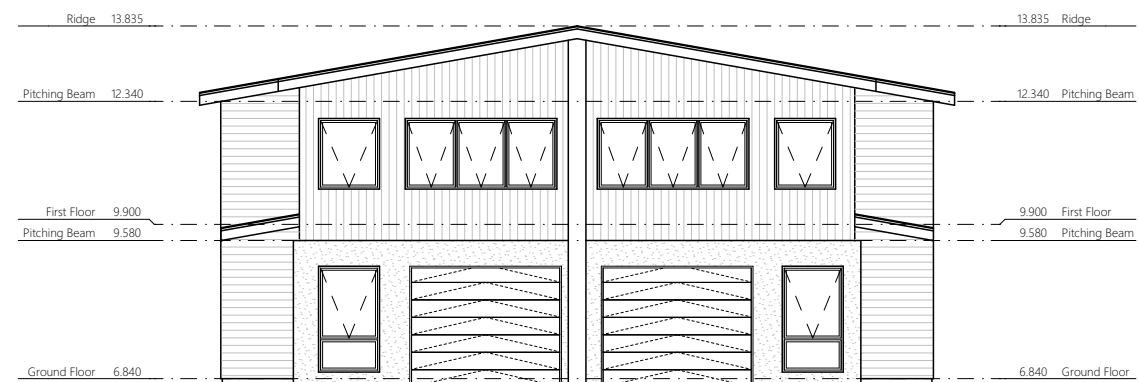
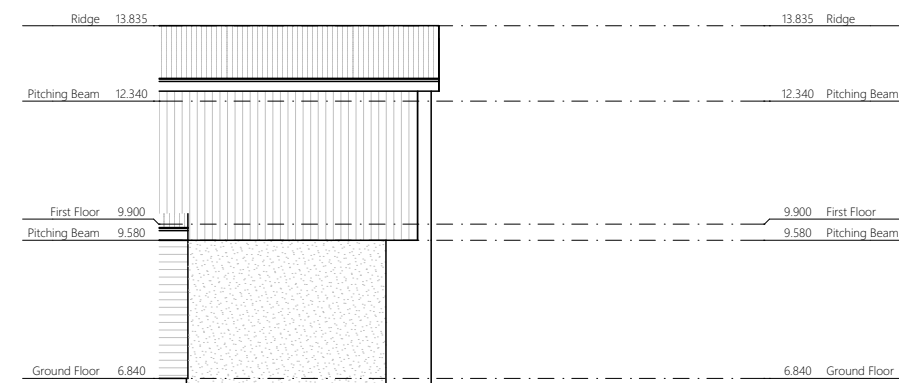
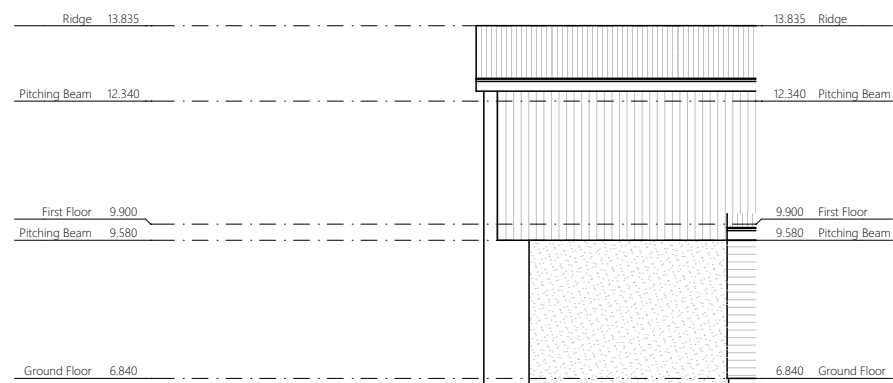
Client/s John & Karen Rowberry			
Address 1/16 Nowack Avenue Umina Beach			
Council Central Coast	State NSW	Postcode 2257	

Lot Number 1
DP DP1320569
Drawing Scale 1:100

Project Description Addition / Renovation
Drawing Name Ground Floor Plan - Proposed
Drawing Status Certification Plans

CERTIFICATION PLANS	
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DATE:	
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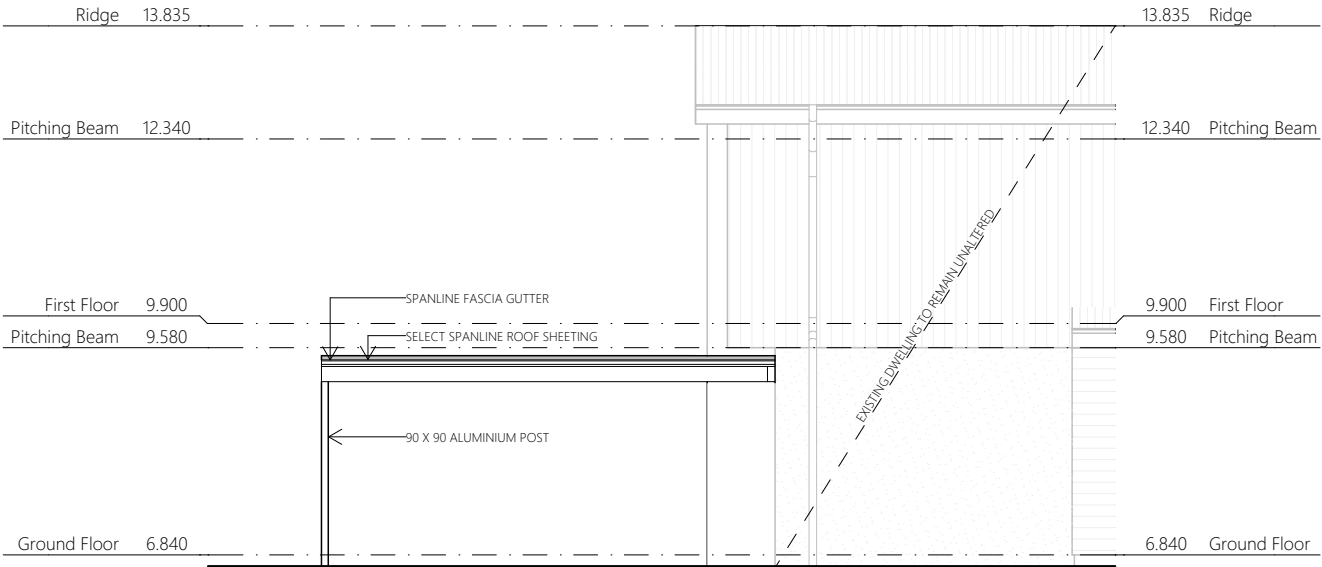
 DESIGN COLLECTIVE MT Design Collective Phone: 0499 488 994 www.mtdesign.com.au	 Spanline Home Additions Spanline Home Additions www.spanline.com.au	#	Drawn	Revision Details	Date	Client/s	Lot Number	Project Description	<u>CERTIFICATION PLANS</u> THESE PLANS HAVE BEEN ACCEPTED BY: SIGNATURE: _____ DATE: _____ UPON ACCEPTANCE OF FINALISED PLANS NO FURTHER DESIGN CHANGES ARE TO BE MADE	SHA9861 8		
		1	TM	CERTIFICATION PLANS	28.04.2026	John & Karen Rowberry	1	Addition / Renovation				
		2				Address 1/16 Nowack Avenue Umina Beach	DP DP1320569	Drawing Name Elevations - Existing				
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		4										
		5										
		6										
		7				Council	State	Postcode			Drawing Scale	Drawing Status
		8				Central Coast	NSW	2257			1:150, 1:100	Certification Plans
		9				THESE PLANS ARE DRAWN AND OWNED BY MT DESIGN COLLECTIVE AND ARE PROTECTED UNDER COPYRIGHT LAWS - PLANS ARE NOT TO BE COPIED OR RECREATED WITHOUT PRIOR WRITTEN CONSENT						

EARTHWORKS SHALL BE COMPLETED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.2

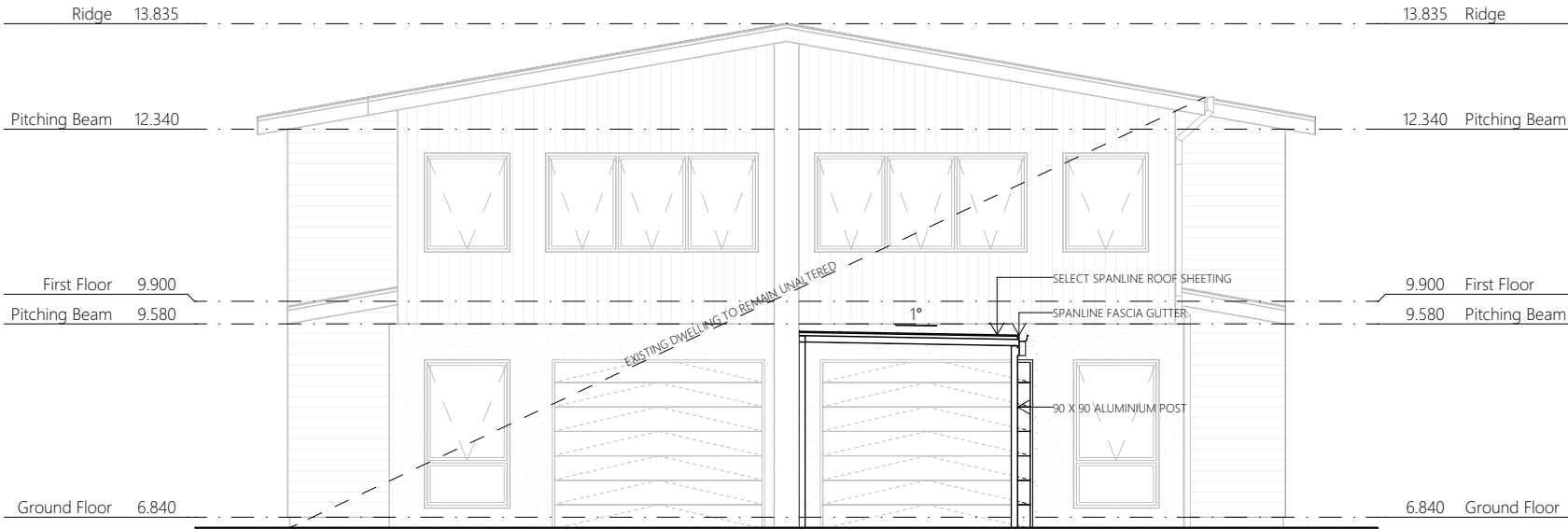
SITE DRAINAGE SHALL BE COMPLETED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 3.3

SUBFLOOR VENTILATION WHERE APPLICABLE SHALL BE COMPLETED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS STANDARD 2022 PART 6.2.1

REFER TO ENGINEERING FOR FRAME / SLAB / FOOTING SPECIFICATIONS



E01 Elevation 1:100



E02 Elevation 1:100



LOUVRE



DOUBLE HUNG



SLIDING



AWNING



BI-FOLD



FIXED / EXISTING

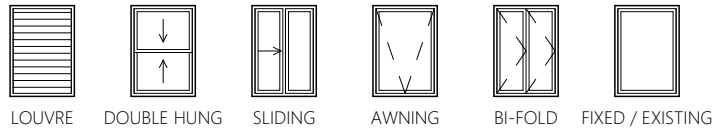
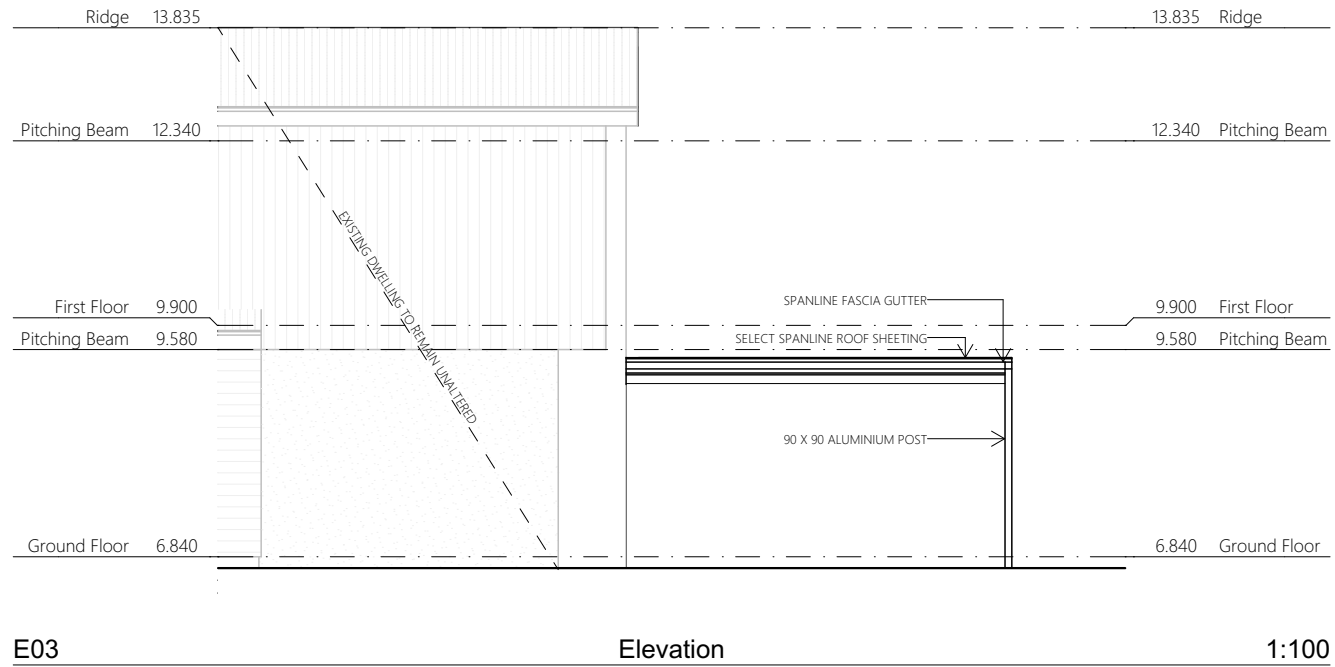
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SUBFLOOR VENTILATION WHERE APPLICABLE
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WITH ABCB HOUSING PROVISIONS
STANDARD 2022 PART 6.2.1

REFER TO ENGINEERING FOR FRAME / SLAB /
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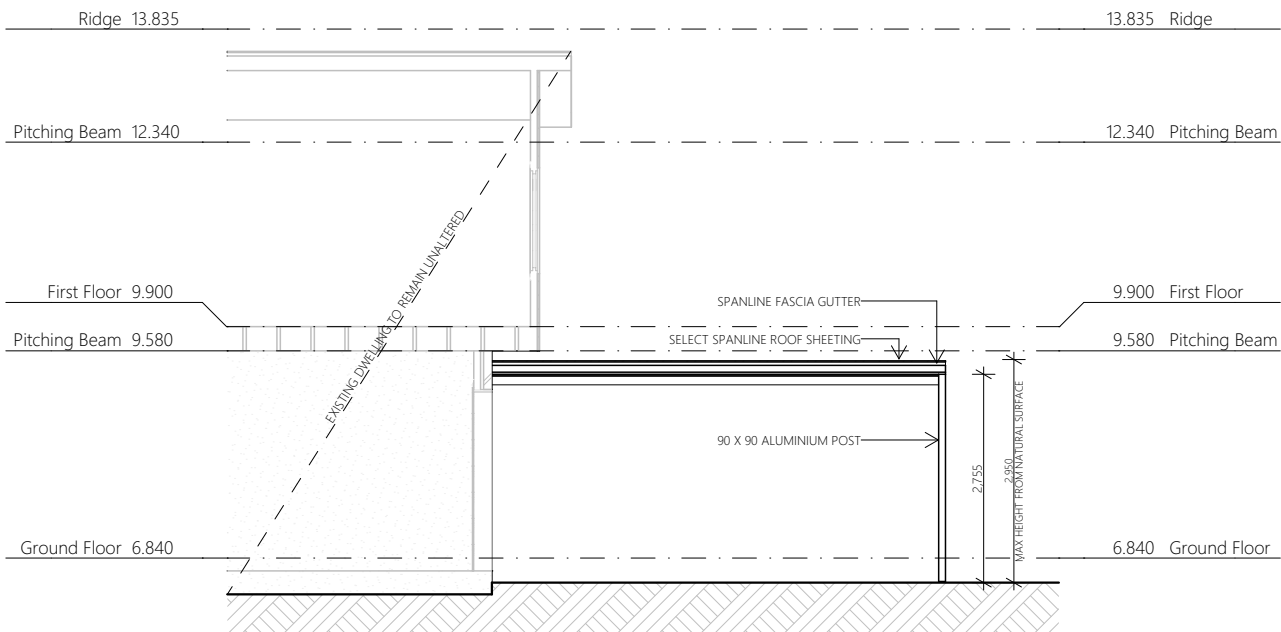
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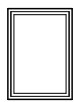
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A Section A 1:100



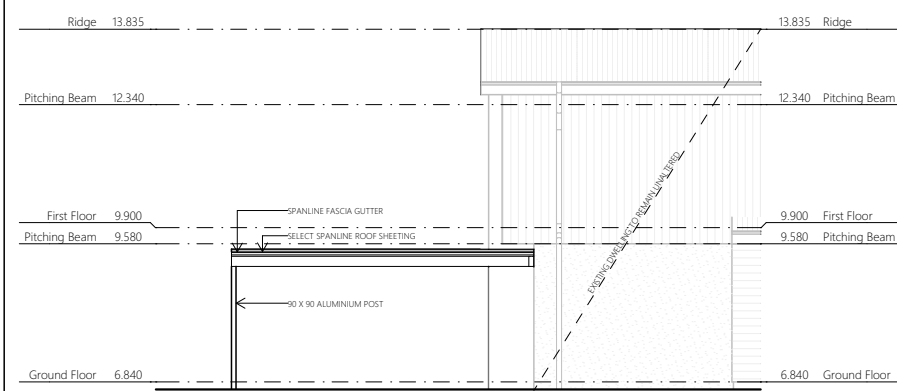
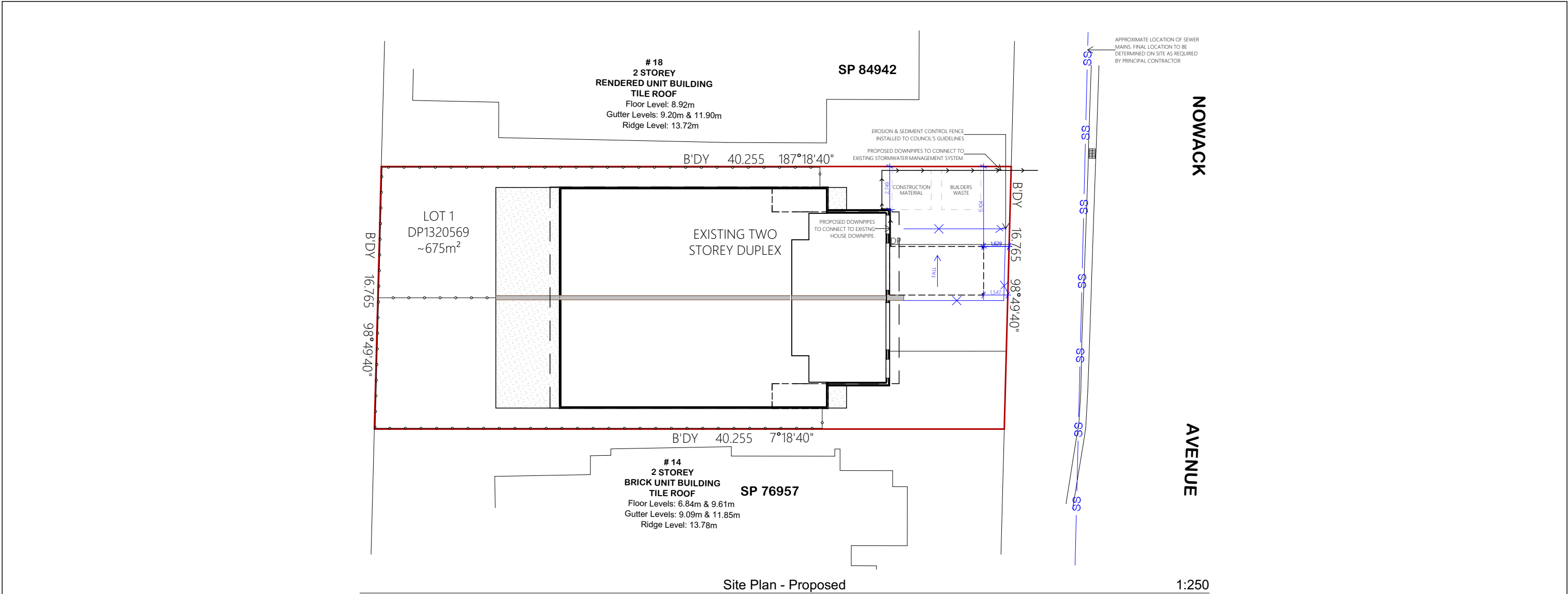
LOUVRE DOUBLE HUNG SLIDING AWNING BI-FOLD FIXED / EXISTING



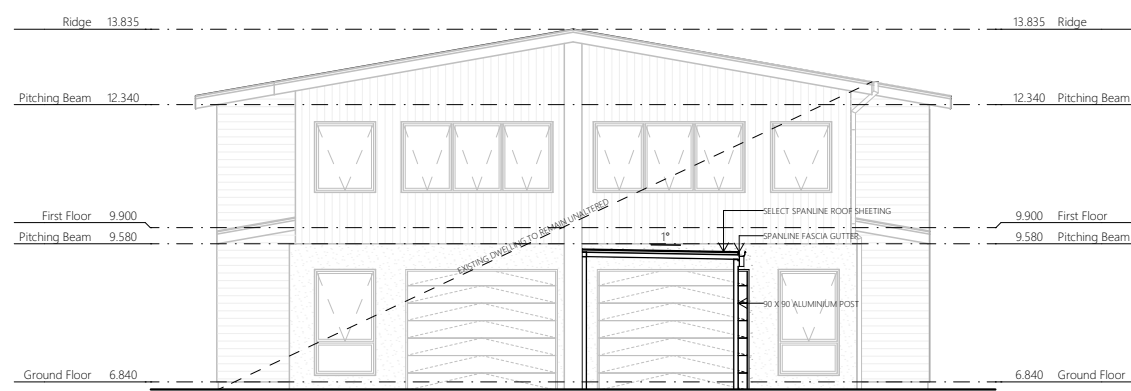
Spanline Home Additions
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#	Drawn	Revision Details		Date	Client/s			Lot Number	Project Description	CERTIFICATION PLANS		SHA9861
1	TM	CERTIFICATION PLANS		28.04.2026	John & Karen Rowberry			1	Addition / Renovation	THESE PLANS HAVE BEEN ACCEPTED BY:		
2					Address 1/16 Nowack Avenue Umina Beach			DP DP1320569	Drawing Name Section - Proposed	SIGNATURE:		
3										DATE:		
4										UPON ACCEPTANCE OF FINALISED PLANS NO FURTHER DESIGN CHANGES ARE TO BE MADE		
5												
6					Council Central Coast			State NSW	Postcode 2257	Drawing Scale 1:100	Drawing Status Certification Plans	11
7												
8												
9												

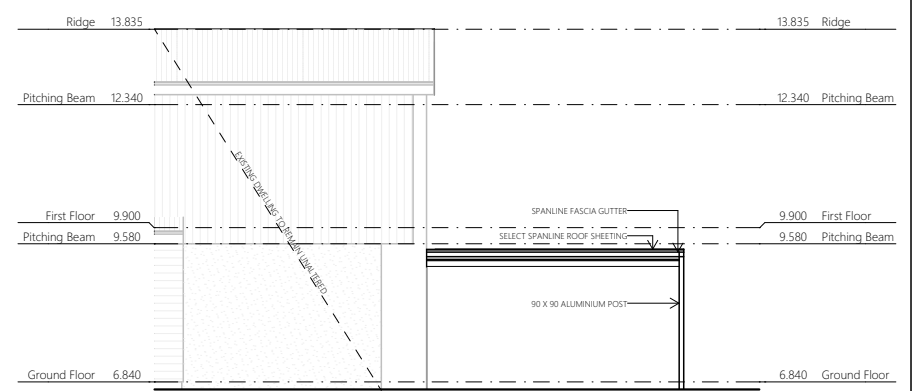
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E01 Elevation 1:150

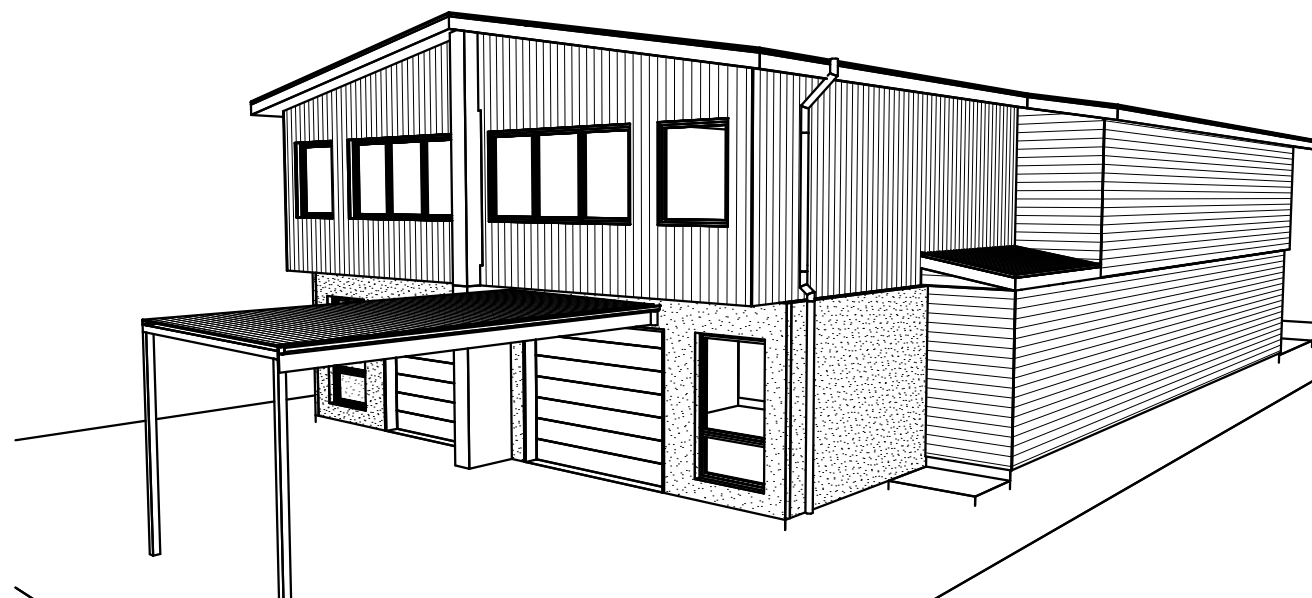
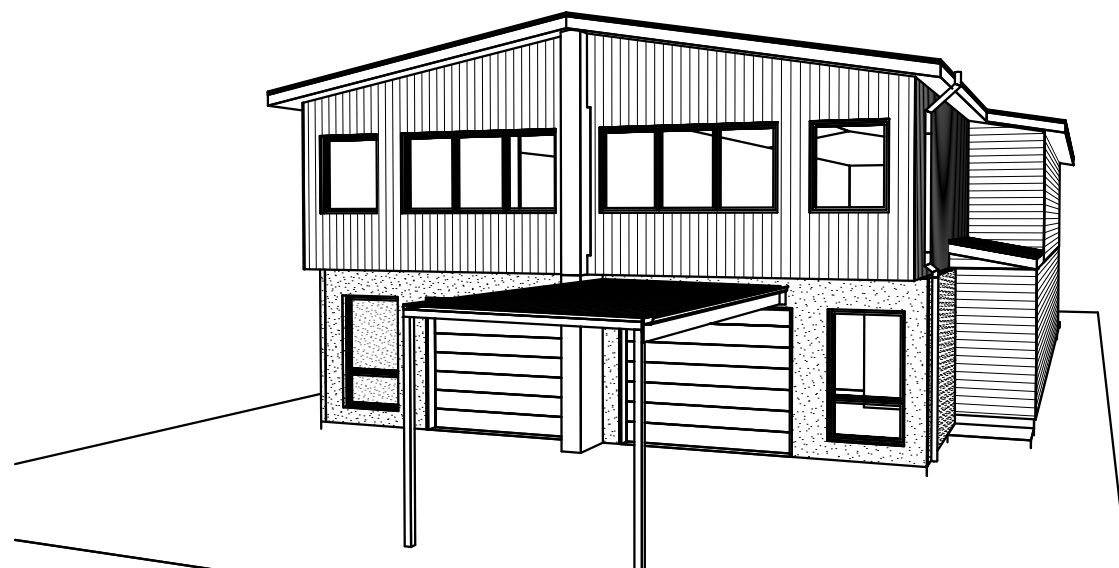


E02 Elevation 1:150



E03 Elevation 1:150

 DESIGN COLLECTIVE MT Design Collective Phone: 0499 488 994 www.mtdesign.com.au	 Spanline Home Additions www.spanline.com.au	#	Drawn	Revision Details	Date	Client/s			Lot Number	Project Description		CERTIFICATION PLANS THESE PLANS HAVE BEEN ACCEPTED BY: SIGNATURE: _____ DATE: _____ UPON ACCEPTANCE OF FINALISED PLANS NO FURTHER DESIGN CHANGES ARE TO BE MADE	SHA9861
		1	TM	CERTIFICATION PLANS	28.04.2026	John & Karen Rowberry			1	Addition / Renovation			
		2				Address 1/16 Nowack Avenue Umina Beach			DP DP1320569	Drawing Name Notification Plan			
		3											
		4											
		5											
		6				Council	State	Postcode	Drawing Scale	Drawing Status			
		7				Central Coast	NSW	2257	1:250, 1:150	Certification Plans			
		8											
		9											
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		1	TM	CERTIFICATION PLANS	28.04.2026	John & Karen Rowberry			1	Addition / Renovation			
		2				Address 1/16 Nowack Avenue Umina Beach			DP DP1320569	Drawing Name 3D Perspectives	Drawing Status Certification Plans		
		3											
		4											
		5											
		6				Council			State	Postcode			
		7				Central Coast			NSW	2257			
		8											
		9											