

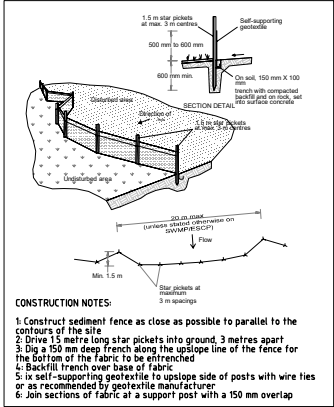
SITE WORKS  
- ALL CUT AND FILL BATTERS TO BE NO GREATER THAN 1 IN 4 WHERE PRACTICAL  
- RETAINING WALL LOCATIONS SHOWN INDICATIVE ONLY, TO BE FINALISED ONSITE  
- ANY RETAINING WALLS EXCEEDING 1m IN HEIGHT ARE TO BE DESIGNED, DETAILED AND CERTIFIED BY A QUALIFIED STRUCTURAL ENGINEER  
- ALL RETAINING WALLS AND ASSOCIATED WORKS ARE TO BE MAINTAINED WHOLLY WITHIN THE BOUNDARY & MEET COUNCIL REQUIREMENTS

SET OUT  
- ALL SITE DIMENSIONS, BOUNDARY INFORMATION AND FINISHED LEVELS TO BE VERIFIED ON SITE  
- ALL SETBACKS TO COMPLY WITH LOCAL REQUIREMENTS UNLESS NOTED OTHERWISE  
- SETBACKS WITH CLOSE PROXIMITY TO MINIMUM COUNCIL REQUIREMENTS TO BE VERIFIED BY SURVEYOR AT INITIAL SETOUT STAGE  
- BOUNDARY DIMENSIONS AND LOCATION OF STRUCTURE TO BE CONFIRMED AND SETOUT PRIOR TO COMMENCEMENT OF WORK  
- BUILDER AND CLIENT TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION UNLESS PREVIOUSLY STATED OTHERWISE

SITE INVESTIGATION  
- A COMPLETE INVESTIGATION OF SERVICES HAS NOT BEEN UNDERTAKEN FOR THIS SITE PLAN  
- SERVICE LOCATIONS, DEPTHS AND INVERTS HAVE BEEN LOCATED BY FIELD SURVEY OR TAKEN FROM DBYD OR COUNCIL DOCUMENTS  
- CONFIRMATION OF CRITICAL POSITIONS SHOULD BE OBTAINED WITH ON SITE DETECTION SERVICES  
- THIS PLAN SHOULD NOT BE USED FOR CRITICAL DESIGN DIMENSIONS IN RELATION TO EXISTING STRUCTURES AND SERVICES  
- PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, AUTHORITIES SHOULD BE CONTACTED FOR LOCATION OF ALL SERVICES  
- NEGLECTING TO DIAL 1100 BEFORE DIGGING OR EXCAVATING CAN LEAD TO COSTLY DISRUPTION TO ESSENTIAL SERVICES, AND INJURY OR DEATH TO WORKERS AND THE GENERAL PUBLIC IT CAN ALSO LEAD TO HEAVY FINANCIAL PENALTIES

EXISTING STRUCTURES  
WHILST ALL CARE AND ATTENTION TO DETAIL IS TAKEN WHEN COMPILING THESE DRAWINGS THEY SHOULD NOT BE USED SOLELY FOR THE CONSTRUCTION OF THE PROPOSED WORK. THE EXISTING BUILDING MAY CONTAIN HIDDEN OR PREVIOUSLY UNDOCUMENTED WORK. THEREFORE THE BUILDER SHOULD MAKE ONSITE CONFIRMATION OF MEASUREMENTS DURING THE PROJECT

DEMOLITION  
WHERE SHOWN, EXISTING BUILDINGS AND STRUCTURES ARE TO BE DEMOLISHED AND REMOVED FROM SITE PRIOR TO COMMENCEMENT OF WORK. EXISTING TREES AND VEGETATION TO BE REMOVED WHERE SHOWN. SITE BE TOTALLY CLEAN OF ANY DEBRIS.  
DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS/PROVISIONS OF AS 2601-2001 - THE DEMOLITION OF STRUCTURES  
ALL VEGETATION, BUILDING MATERIALS AND DEBRIS TO BE DISPOSED OF AS STATED IN THE WASTE MANAGEMENT PLAN  
ALL EXISTING SERVICES TO BE DISCONNECTED, SEALED AND MADE SAFE PRIOR TO DEMOLITION AND/OR REMOVAL OF EXISTING STRUCTURES ON SITE

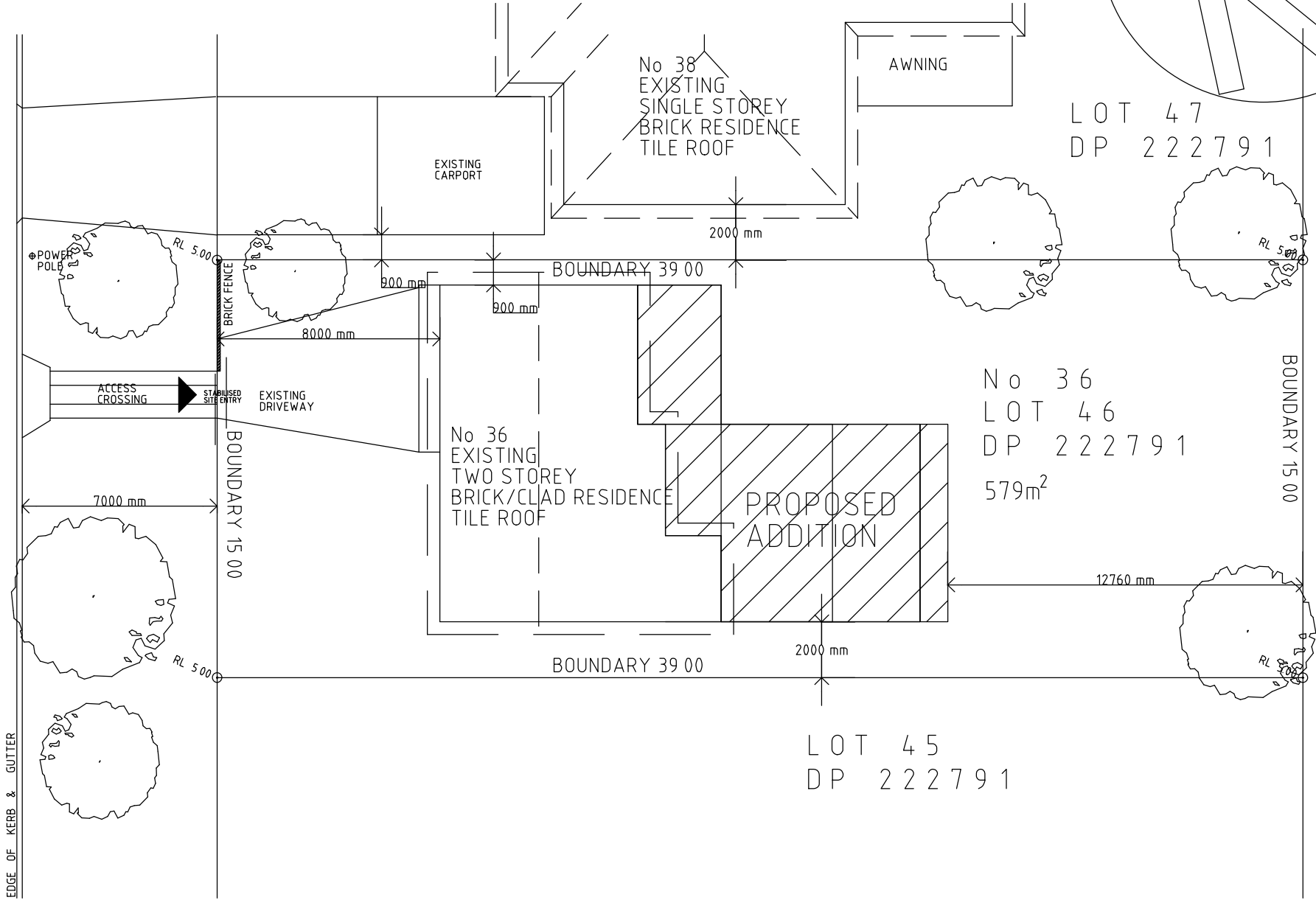


SEDIMENT DETAILS



ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ALL WORK TO BE UNDERTAKEN BY LICENSED INSTALLERS

BREEZE STREET



SITE COVERAGE:  
EXISTING RESIDENCE 141m2  
PROPOSED ADDITION 92m2  
TOTAL AREA: 233m2  
FLOOR SPACE RATIO 0.40:1

LEGEND

- VEHICULAR & PEDESTRIAN SITE ACCESS
- PROPOSED BUILDING WORKS
- EXISTING TREES
- STABILISED SITE ENTRY
- STORMWATER

BUILDER TO ATTEND SITE PRIOR TO FABRICATION TO CONFIRM LOCATION OF EXISTING TERRAIN, PROPOSED STRUCTURES/S AND LOCATION OF EXISTING BUILDINGS THAT MAY AFFECT CONSTRUCTION

STORMWATER MANAGEMENT PLAN  
- NEW DOWNPIPES INTO EXISTING SYSTEM, TO LEGAL POINT OF DISPOSAL

DA CONDITIONS REGARDING FINISHED HEIGHT OF FOUNDATIONS TO TAKE PRECEDENCE OVER THESE PLANS

REFER ATTACHED PLANS OF PROPOSED DESIGN FOR DIMENSIONS, ELEVATIONS, HEIGHTS AND ENGINEERING DETAILS

ALL STRUCTURAL REFERENCES MADE ON THIS PLAN ARE TO BE DESIGNED AND ALSO STATED ON AN ENGINEER'S CERTIFICATE AS BEING WHOLLY APPROVED BEFORE COMMENCEMENT TO BE THEN READ IN CONJUNCTION WITH ENGINEER'S PLANS AND DOCUMENTS, WITH ENGINEER'S REFERENCES TAKING PRECEDENCE

GENERAL NOTES:  
FIGURED DIMENSIONS TAKE PREFERENCE, DO NOT SCALE FROM PLANS  
IF IN DOUBT ASK  
CONTRACTORS ARE RESPONSIBLE TO CHECK AND VERIFY ALL INFORMATION PRIOR TO TENDERING AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS INCORRECT INCLUSIONS OR OMISSIONS OR TYPOGRAPH AREAS ARE NOT TO BE USED IN THE INTERPRETATION OF ANY INFORMATION IN THESE DRAWINGS NOR CAN THEY BE USED TO CLAIM ANY ADDITIONAL OR ALTERNATE ITEMS OR SERVICES AS A RESULT OF SUCH ERRORS. THE INCORRECT OR OMITTED DETAILS SHALL BE SUBJECT TO SUBSEQUENT CORRECTION BY THE CEO AND THE DOCUMENTATION RE-ISSUED  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT CLIENT - BUILDER CONTRACT THE CONTRACT IS TO TAKE PRECEDENCE OVER THESE DRAWINGS IN ALL MATTERS INCLUDING BUT NOT LIMITED TO - FINISHES INCLUSIONS, UPGRADES, EXCLUSIONS, ADDITIONAL COSTS AND WORKS BY OWNER/BUILDER  
ALL WORK TO BE CARRIED OUT IN A TRADESMAN LIKE MANNER AND IN ACCORDANCE WITH LOCAL CODES, THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITY REQUIREMENTS  
ALL CONCRETE AND STRUCTURAL DETAILS TO ENGINEER'S SPECIFICATION  
ENGINEERS DETAILS AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE PLANS  
FINISHED GROUND LEVELS ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED ONSITE

PROJECT PROPOSED ADDITION			
CLIENT Dave & Tarny Hayward			
ADDRESS No 36 BREEZE STREET, UMINA BEACH, NSW 2257			
LOT/DP No LOT 46 DEPOSITED PLAN 222791			
Jason Te Puia Assoc. Dip. Applied Sc. Architectural Drafting ARCHITECTURAL ARTIST ARCHITECTURAL DRAFTING ARCHITECTURAL MODEL MAKER			
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DRAWING TITLE SITE PLAN			
DRAWN BY JTP	CHECKED	SCALE 1:200	SHEET SIZE A3
DATE 16/02/2022			REVISION
DRAWING No 20221602 - 01			SHEET 1 OF 8
NOTES:			

CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE  
CONFIRM ALL DIMENSIONS ON SITE

Basix Requirements

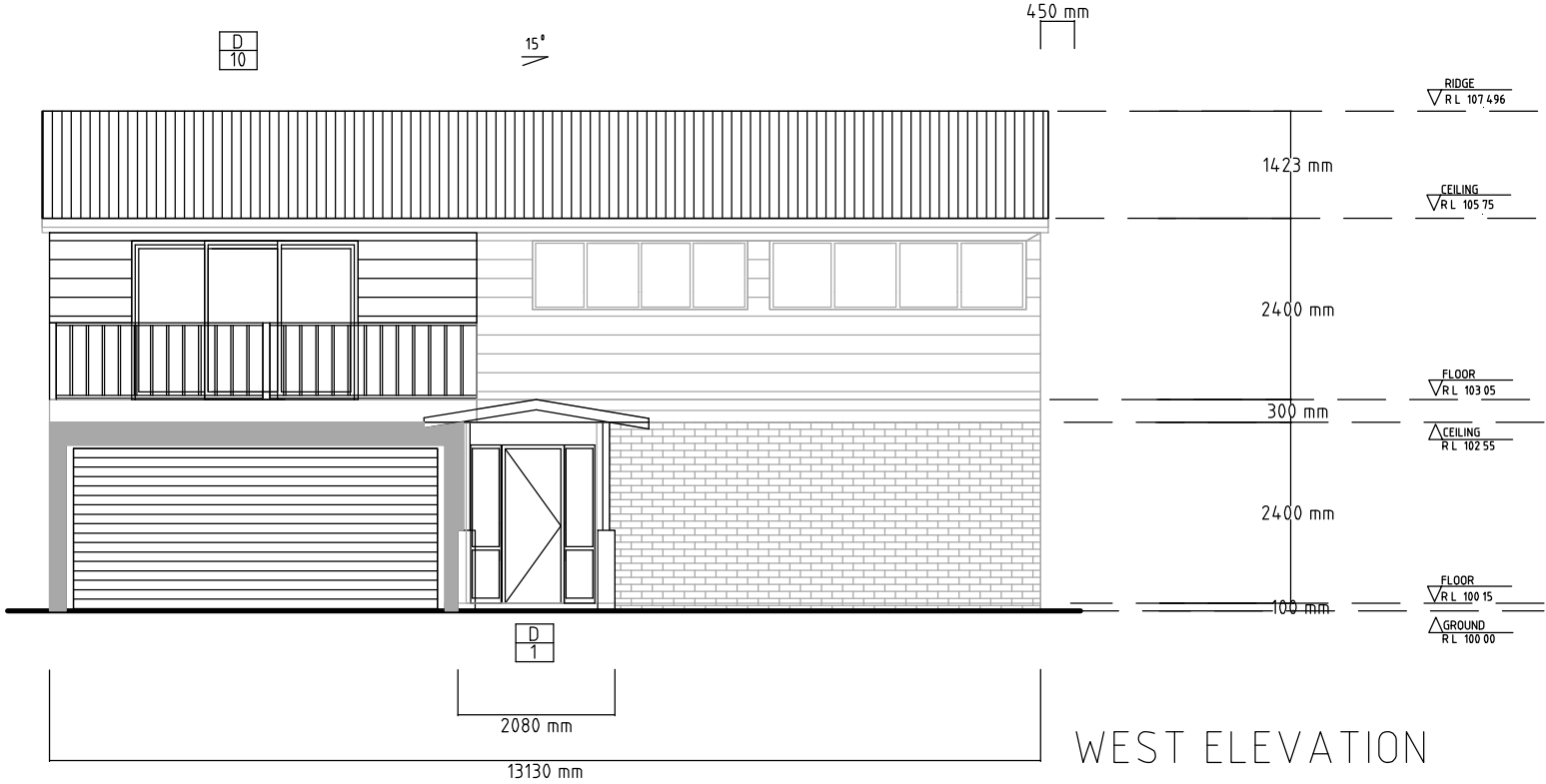
Showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating  
Toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating  
Taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating

Wall Insulation  
concrete floor: nil  
floor above existing dwelling: nil  
external wall: R130 (or R170 including construction)

Ceiling Insulation  
Framed ceiling: R2 50 (up),  
roof: foil/sarking

Windows  
standard aluminium, single clear (or U-value:7 63, SHGC:0 75)  
W1, W6 – W8 & D4 standard aluminium, single  
pyrolytic low-e, (U-value: 5 7, SHGC: 0 47)

Lighting  
Minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps



WEST ELEVATION

- Window Schedule:
- ⊕ – 1900 x 3300mm standard aluminium single clear
  - ⊕ – 600 x 2700mm standard aluminium single clear
  - ⊕ – 900 x 1200mm standard aluminium single clear
  - ⊕ – 600 x 600mm standard aluminium single clear
  - ⊕ – 1200 x 1200mm standard aluminium single clear

- Door Schedule:
- ⊕ – 2100 x 2400mm Colorbond roller door
  - ⊕ – 2100 x 1800mm Aluminium sliding door
  - ⊕ – 2100 x 3300mm Aluminium sliding door
  - ⊕ – 2100 x 4800mm Aluminium sliding door
  - ⊕ – 2100 x 820mm Cavity sliding door
  - ⊕ – 2100 x 820mm Timber interior door
  - ⊕ – 2100 x 820mm Timber interior door
  - ⊕ – 2100 x 1640mm Timber bifold door
  - ⊕ – 2100 x 820mm Timber exterior door

- Window Schedule:
- ⊕ – 600 x 1200mm standard aluminium single clear
  - ⊕ – 1000 x 1800mm standard aluminium single clear
  - ⊕ – 1000 x 1800mm standard aluminium single clear
  - ⊕ – 900 x 1200mm standard aluminium single clear

- Door Schedule:
- ⊕ – 2100 x 3000mm Aluminium sliding door
  - ⊕ – 2100 x 820mm Timber interior door
  - ⊕ – 2100 x 820mm Timber interior door
  - ⊕ – 2100 x 820mm Timber interior door
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  - ⊕ – 2100 x 820mm Timber interior door

NOTES:

All work to be carried out strictly in accordance with the BCA, Australian standards and all relevant Statutory Authorities  
All levels, dimensions, areas etc. to be verified by the builder prior to preparation of any contracts and the commencement of any building works. Any discrepancies are to be brought to the attention of the owner prior to commencement of any building works. Where engineering details are required they take preference over these drawings.  
Levels shown are approximate and may vary plus or minus 200mm.  
Do not scale this drawing use figured dimensions.  
All boundary clearances to be verified by registered surveyor.  
Stormwater to be discharged to Local Authority Regulations and guidelines.  
All existing services to be located by builder prior to commencement of any building works.



EAST ELEVATION

— GREY – EXISTING  
— BLACK – PROPOSED

Specifications & Construction Notes

Framing Design Summary

Wind loading assumed are for zone A1 as designated by A S 1170-1989 PT 2 50 year mean period, terrain category 2 5  
Speed W 33 N  
All stress grade timber unless noted otherwise  
All fixings, bracings, tie downs requirements & sectional Sizes in accordance with A S 1684 National Framing Code

PLATES 90 x 45mm secured @1800mm  
STUDS 90 x 45mm @ maximum 600mm  
RAFTERS By Pryda  
ROOF BATTERNS 75 X 35 mm

ROOFING & RAIN WATER

All roof to be fixed in accordance with manufacturers Specifications  
Storm water to be conveyed by means Of sealed PVC pipe

ROOF Colourbond  
GUTTER Metal  
DOWN PIPES 100 X 50

EXTERNAL FINISHES

All external cladding to be fixed, finished & maintained in Accordance with manufacturers specifications

WALL Selected cladding

GUTTERING AND DOWNPIPE INSTALLATION TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARDS AS/NZS 3500 3  
PLUMBING AND DRAINAGE, STORMWATER DRAINAGE AND AS/NZS 3500 3 NATIONAL PLUMBING AND DRAINAGE DOMESTIC INSTALLATIONS

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DRAWING TITLE ELEVATIONS EAST & WEST			
DRAWN BY JTP	CHECKED	SCALE 1:100	SHEET SIZE A3
DATE 16/02/2022			REVISION
DRAWING No 20221602 – 06			SHEET 6 OF 8
NOTES:			

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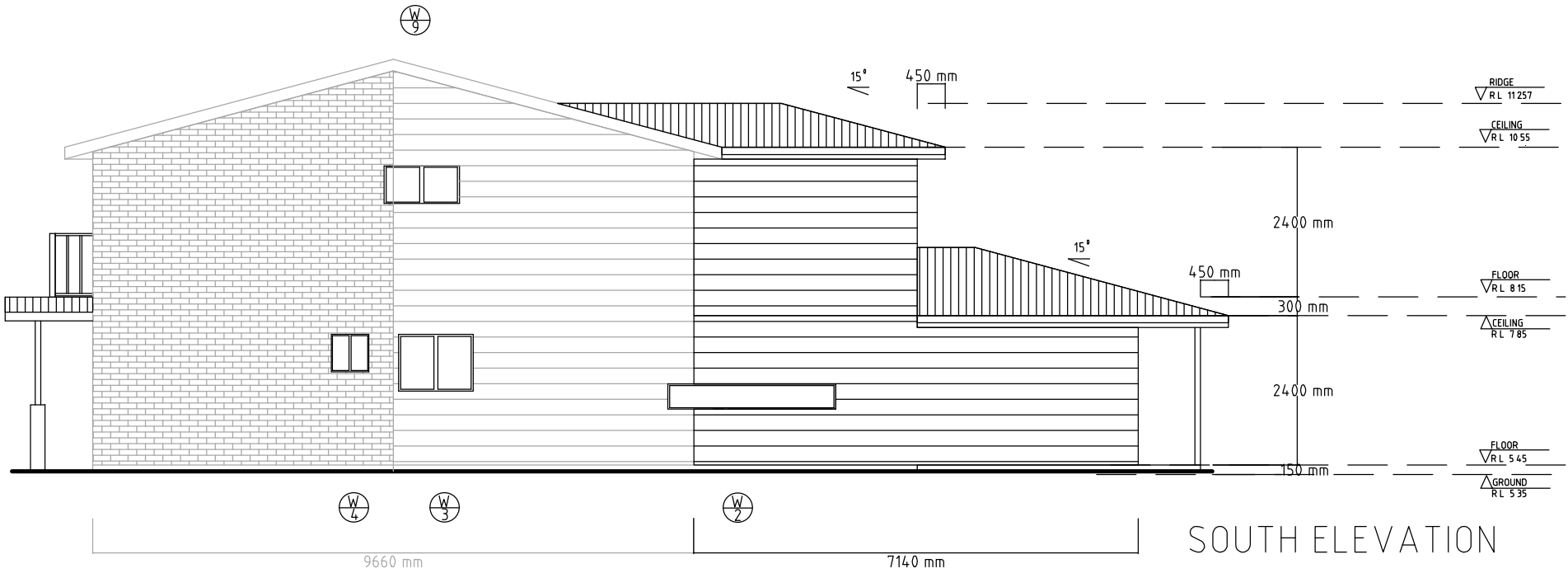
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standard aluminium, single clear (or U-value:7 63, SHGC:0 75)  
W1, W6 – W8 & D4 standard aluminium, single pyrolytic low-e, (U-value: 5 7, SHGC: 0 4 7)

Lighting  
Minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps



SOUTH ELEVATION

Window Schedule:

- ⊕ - 1900 x 3300mm standard aluminium single clear
- ⊕ - 600 x 2700mm standard aluminium single clear
- ⊕ - 900 x 1200mm standard aluminium single clear
- ⊕ - 600 x 600mm standard aluminium single clear
- ⊕ - 1200 x 1200mm standard aluminium single clear

Door Schedule:

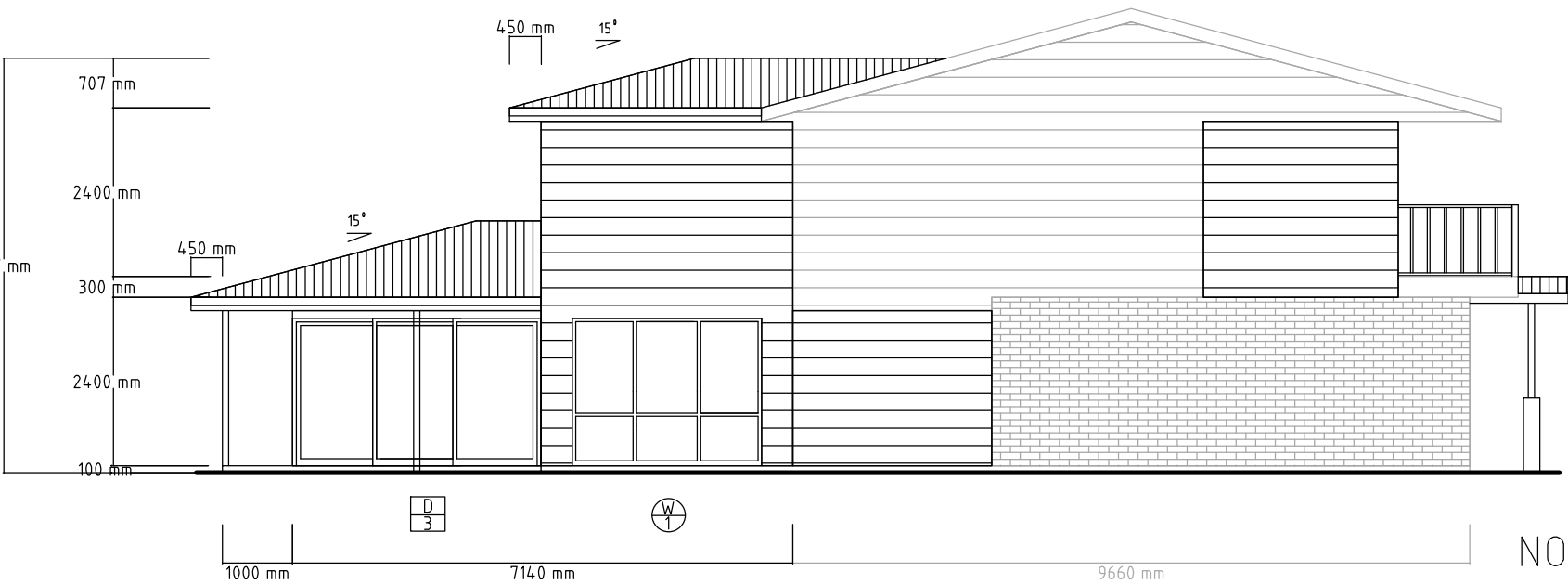
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NORTH ELEVATION

— GREY - EXISTING  
— BLACK - PROPOSED

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STUDS 90 x 45mm @ maximum 600mm  
RAFTERS By Pryda  
ROOF BATTERNS 75 X 35 mm

ROOFING & RAIN WATER

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ROOF Colourbond  
GUTTER Metal  
DOWN PIPES 100 X 50

EXTERNAL FINISHES

All external cladding to be fixed, finished & maintained in Accordance with manufacturers specifications.

WALL Selected cladding

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DRAWING TITLE ELEVATIONS NORTH & SOUTH			
DRAWN BY JTP	CHECKED	SCALE 1:100	SHEET SIZE A3
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DRAWING No 20221602 - 07			SHEET 7 OF 8
NOTES:			

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