

## **STATEMENT OF ENVIRONMENTAL EFFECTS**

ADDRESS – 15 Cornelian Rd, Pearl Beach NSW 2256

LOT/DP - 95/-/DP14817

New Manufactured Secondary Dwelling



Prepared for Jo-Anne Margaret Gardner and Ronald Quinn.

April 2022

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## **1. Introduction**

This Statement of Environmental Effects (SEE) is to accompany a development application (DA) lodged with Central Coast (Council) for the proposed development of 15 Cornelian Road, Pearl Beach NSW 2256. This SEE has been prepared by Parkwood Homes on behalf of Jo-Anne Margaret Gardner and Ronald Quinn.

The site lies within Central Coast Local Government Area (LGA) and is zoned R2 General Residential under the Central Coast Local Environmental Plan (GLEP)

The proposed new manufactured secondary dwelling will meet the objectives of the zoned area by providing a structure that is considerate of its surroundings and neighbours and offers little disturbance of the community in the process of its erection.

This report represents a Statement of Environmental Effects (SEE) as required by the NSW Environmental Planning and Assessment Act 1979 (EP&A Act) and NSW Environmental Planning and Assessment Regulation 2000 (EP&A Reg). This SEE describes the site and its context, the nature of the proposal, the relevant planning framework and assesses the proposal against the matters for consideration pursuant to Section 4.15 (formerly Section 79C) of the EP&A Act.

This report provides the following:

- A description of the site and the surroundings
- A description of the proposal

This report should be read in conjunction with the following:

- Architectural plans for 15 Cornelian Road, Pearl Beach NSW 2256 prepared by Parkwood Modular Buildings

## 2. Site and Context

### 2.1 Site Description

The proposed development is located at 15 Cornelian Road, Pearl Beach and is identified as Lot95 DP14817. The proposal makes use of the 839.39m<sup>2</sup> of land, having a length of 54.63m on the northern side and a street frontage of 15.24m. The site has an easterly aspect and is zoned R2 – Low Density Residential.

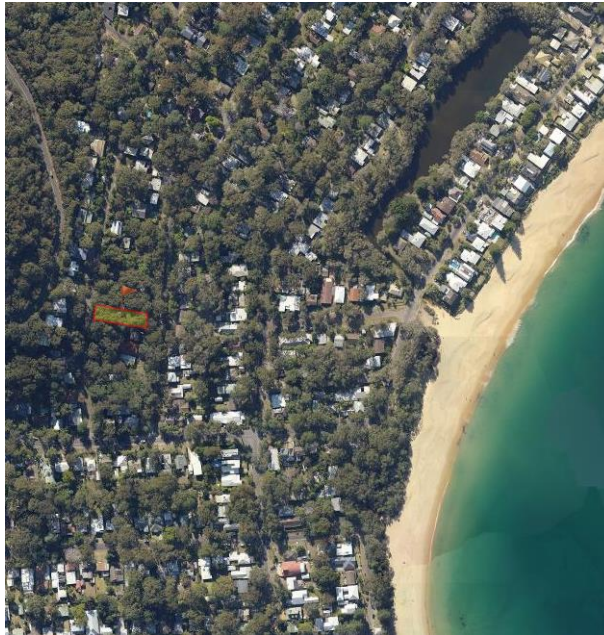


Figure 1: Site locality

Source: Six maps

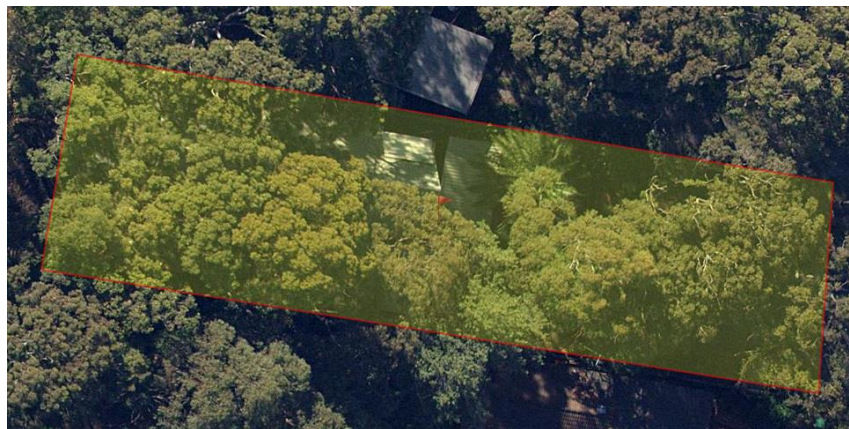


Figure 2: Site ariel photograph

Source: Six Maps

The proposed site faces the east, the location retains good solar access, the adjoining blocks of land to the north and south have structures that are aligned in a parallel arrangement, all obtaining a similar amount of sunlight.



The surrounding residential development is characterised by an eclectic blend of one and two storey dwelling-houses, ranging from modest, post-war design to dwelling-houses of a contemporary appearance.



Figure 3: Neighbouring dwellings to the proposed site

Source: Google Maps

## 2.2 Present and Previous Uses of The Land

The land has an existing dwelling currently on site that will remain for the proposed development. The secondary dwelling to be installed to the front of the existing and will be used for residential purposes. The adjoining lands are also used for residential purposes.



Figure 4: Photo of existing dwelling  
& Access from Cornelian Road

Source: Domain & Google maps

An AHIMS search has been conducted and the site does not have any existing evidence of historical heritage, cultural, archaeological artifacts of aboriginal settlement that could be of negative accumulative consequences if construction of the proposed development proceeds.

### 3. Zoning and Planning Controls

#### 3.1 Zoning

The land is zoned R2- Low Density Residential under Gosford LEP 2014, as is the surrounding lands.



Figure 3: R2 zoning of locality

Source: Planning Portal

#### 3.2 Height of Buildings

The permissible building height for the site is 8.5m

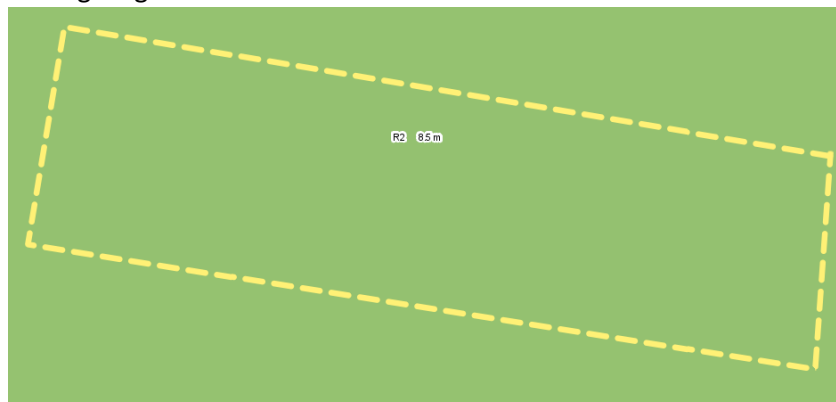


Figure 4: Height limit of locality.

Source: Planning Portal

### 3.3 Floor Space Ratio

The allowed floor space ratio for the site is 0.5:1.

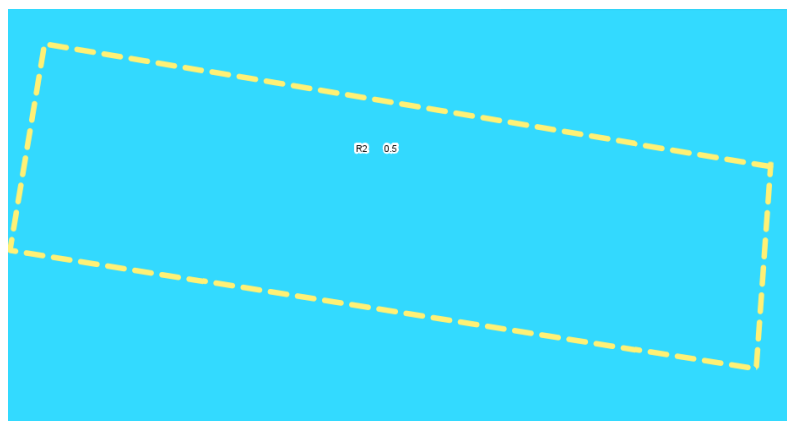


Figure 5: Floor space ration map

Source: Planning Portal

### 3.4 The Proposal

The application includes the erection of a new manufactured secondary dwelling. The full gamut of the proposal is illustrated within the architectural plans prepared by Parkwood Modular Buildings. The building is to be constructed off site at Parkwood Modular Buildings factory.

The external finishes schedule is formed in the architectural drawings.

## 4. Environmental Planning Controls and Consideration

In determining a development application, a consent authority is to take into consideration the following matters as they are of relevance to the subject of the development application: (a) the provisions of: (i) any environmental planning instrument, and

(ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Director-General has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and

(iii) any development control plan, and

(iiia) any planning agreement that has been entered into under section 93F, or any draft planning agreement that a developer has offered to enter under section 93F, and

(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), that apply to the land to which the development application relates,

(v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates, ...

The following Environmental Planning Instruments are applicable to the subject land and have been duly considered in the preparation of this development proposal and application. The relevant Statutory Planning Controls include:

- The Environmental Planning and Assessment Act 1979
- State Environmental Planning Policy (SEPP) – Coastal Management
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- Gosford Local Environmental Plan 2014
- Gosford Development Control Plan 2013

#### **4.1 State Environmental Planning Policy (SEPP) – Coastal Management**

The SEPP applies to the Central Coast Council LGA. The objective of this policy is to protect and manage the coastal lands of NSW in an ecologically sustainable way. This objective is particularly associated with sensitive coastal locations as defined under Part 13 and Section 14 of the SEPP. Matters of consideration by a consent authority are outlined under Clause 15 and 16 of the SEPP.

However, given the minor works conducted on site and the benefits the manufactured structure will have on the topography, the proposed dwelling house would be acceptable considering the provisions of the SEPP in this instance.

#### **4.2 Central Coast Regional Plan**

The Central Coast Regional Plan is the NSW Government's provides a planning framework for long term land use plan for the region, which covers the Gosford City and Wyong Shire Local Government Areas. The Regional Plan contains policies and actions designed to cater for the region's projected housing and employment growth over the period to 2036. The proposed dwelling-house to be sited on a residential lot within an urban infill area is consistent with the policies and strategic actions outlined in the regional plan.

#### **4.3 State Environmental Planning Policy (BASIX)**

A Basix Certificate is not required for manufactured dwellings.

*As a relocatable home is not within the definition of building under the Environmental Planning and Assessment Act 1979, a BASIX certificate is not required for this type of home.*

(This information sourced from Planning Circular PS06-18)



#### **4.4 Gosford LEP 2014**

The Gosford Local Environmental Plan (LEP) is currently Council's primary planning control for development in the Gosford Local Government Area and establishes the requirements for the use and development of within the municipality. The LEP provides objectives, zones and principal development standards including minimum lot sizes, floor space ratios, densities, and height of buildings. The zoning maps provided by Gosford City Council's website indicate the subject site is currently zoned R2 – Residential. The proposed use falls under the definitions of a 'dwelling-house' under the LEP and is permissible subject Council consent. Under the LEP the objectives of the R2 Residential zone are:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that development is compatible with the desired future character of the zone.
- To encourage best practice in the design of low-density residential development.
- To promote ecologically, socially, and economically sustainable development and the need for, and value of, biodiversity in Gosford.
- To ensure that non-residential land uses do not adversely affect residential amenity or place demands on services beyond the level reasonably required for low-density housing.
- To ensure that non-residential uses do not adversely affect residential amenity or place demands on services beyond the level reasonably required for multi dwelling housing or other similar types of development.

**Comment:**

- The proposal would cater for the housing needs of the local population within the Gosford LGA.
- The residential dwelling is compatible with the low density setting and it provides a dwelling-house development that does not harm or injure the surrounding natural elements,

#### 4.5 – GLEP 2014 Clause 7.1 Acid Sulfate Soils

The site is within a class 5 acid sulphate zone in accordance with Council's Acid Sulphate Soils Map. Generally Acid Sulphate Soils are found lower than 1 metre Australian Height Datum (AHD) and often 0-0.3 metre AHD as such the likelihood of exposure to acid sulphate soils is minimal. Should acid sulphate soils be encountered during construction works, Council would be notified immediately and an Acid Sulphate Soils Management Plan, written in accordance with the NSW Acid Sulphate Soil Manual 1998 would be to be submitted to Council.

#### 4.6 Principal Development Standards

The table below summarises the relevant development standards of GLEP 2014 against the proposal.

<b>Gosford LEP 2014 (GLEP)</b>			
<b>Development Standard</b>	<b>Required</b>	<b>Proposed</b>	<b>Compliance</b>
CI 4.3 – Height of Building	8.5m	4.006m	Yes
CI 4.4 – Floor Space Ratio	0.5:1	21.68%	Yes

#### 4.7 Gosford Development Control Plan 2013

In assessing the proposal against Gosford DCP 2013, Section 3.42 of the Environmental Planning & Assessment Act 1979 provides that the purpose of a DCP is to provide guidance, and section 4.15(3A) (b) of the Act provides that DCP standards are to be flexibly applied and non-compliance can be addressed through alternative solutions or addressing how a proposal otherwise achieves the objectives of the standard.

<b>DCP Requirement</b>	<b>Proposed</b>	<b>Complies</b>
3.1.2.1 Building Height Maximum 8.5m (LEP 2014)	The proposal will not exceed the height limit of 8.5m	Yes
3.1.2.2 Site Coverage 50% for a lot of between 450m <sup>2</sup> and 900m <sup>2</sup>	The proposal will not result in any breach of the site limit coverage of 50%	Yes
3.1.2.3 Floor Space Ratio Maximum 0.5:1 (LEP 2014)	The proposal will not result in any additional gross floor area, and the dwelling remains below the allowed 0.5:1 FSR applying to the site.	Yes
3.1.3.1b Rear Setback	The proposal meets the required setbacks of 0.9m	Yes
3.1.3.1c Side Setback	The proposed setbacks comply with the 0.9. The building height at this point is 4.006m with a setback of 1.486m	Yes
3.1.4.1 Views 3.1.4.2 Visual Privacy	The proposals will not result in an adverse impact on views or privacy for adjoining properties, and a separate assessment of these matters is provided.	Yes

3.1.4.3 Private Open Space Areas 16m <sup>2</sup> for lot with a width of less than 10m at the building line	The proposal will not reduce the amount of private open space on the site.	Yes
3.1.4.4 Sunlight Access 50% of the required principal private open space on the site, and on adjoining land, to receive at least 3hrs sun mid-winter between 9am and 3pm	The proposal will not result in any additional shadow impacts beyond that of the existing dwelling.	Yes

## 5. Access and Traffic

An existing concrete driveway entering from Cornelian Road to provide all-weather access to prevent tracking and sediment.

## 6. Air and Noise

There will be no significant air or noise pollution associated with the proposed dwelling.

## 7. Flora and Fauna

A mature Angophora will be located within the footprint of the proposed build, suffering total encroachment (100%) into its TPZ (Tree Protection Zone) T1 recorded a High Retention value, though could not be successfully retained under the current proposal, under the governing Australian Standard AS4970-2009 Protection of Trees on Construction Sites, consulting arborists are required to demonstrate every effort in retaining High Retention specimens, under the current proposal T1 could not be retained, if Central Coast Council were to adjust the front setback limits and permit the build closer to Cornelian Rd then T1 could be successfully retained

***# Above reference taken from Arborist report prepared by Harwood Tree Care and Consulting.***

## 8. Energy

The proposed dwelling considers the following energy conservation requirements. The installation of a gas hot water system with a 5-star performance and the installation of windows in the bathrooms for natural lighting (as shown in the floor plans).

Fixtures such as showerheads and taps in the kitchen, bathroom and toilets will have a minimum rating of 3-stars. This will further contribute to water conservation.

The ceiling cavity will be lined with R3.5 batts and all external walls will have R2.0 batts to improve the insulation of the building. The eaves will be 450mm on the northern elevation and 350 on the southern elevation and provide passive solar shading to most windows.

## 9. Drainage and Erosion Control

Stormwater directed to a 2000l Rainwater tank, overflow disposed of in accordance with the council regulations. Silt control fence in place to comply with council regulations.

## 10. Site Constrains

The proposed site is within bushfire prone land and has been assessed at BAL 12.5. Provision has been considered with external finishes and glazing to meet requirements. Please refer to Bushfire Fire Assessment Report prepared by **Clarke Dowdle & Associates**

## 11. Conclusion

In conclusion, the proposal is for a new manufactured secondary dwelling which has been designed to complement the appearance and character of the area and surrounding properties. By minimising the impact on the adjoining properties, the dwelling will be built off site and to the appropriate standards of all relevant AUS/NZ standards.

The proposal is consistent with the objectives of the R2 Low Density Residential zone and is consistent with Gosford Development Control Plan 2013.

An assessment of the proposal has been carried out pursuant to Section 4.15 of the Environmental Planning & Assessment Act 1979, which supports the proposal, and it is recommended that Council approve the application.