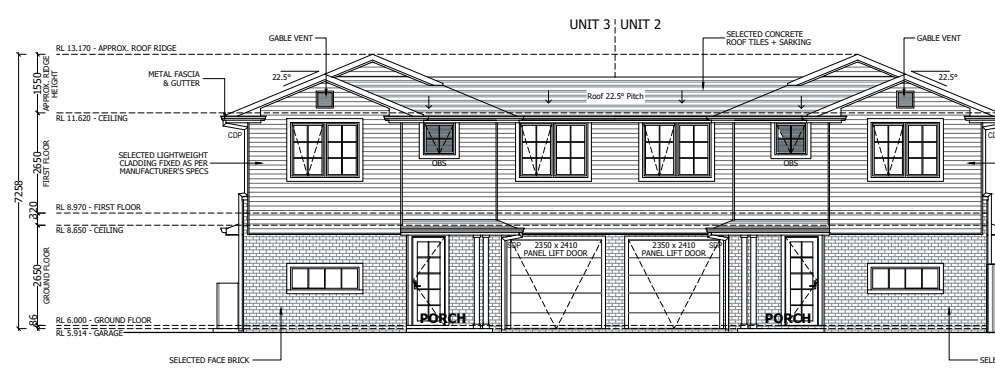
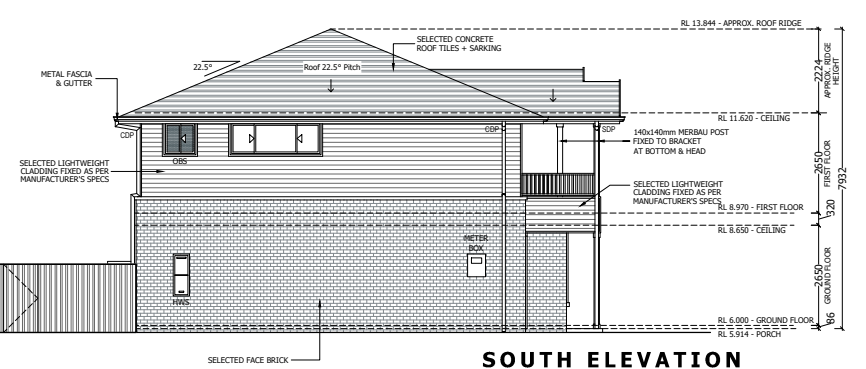


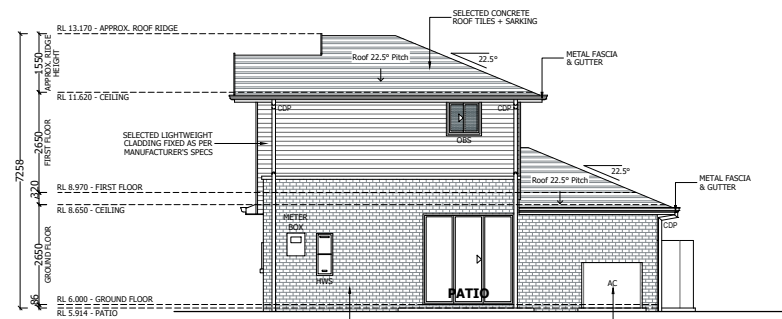
EAST ELEVATION-UNIT 1
SCALE 1:100



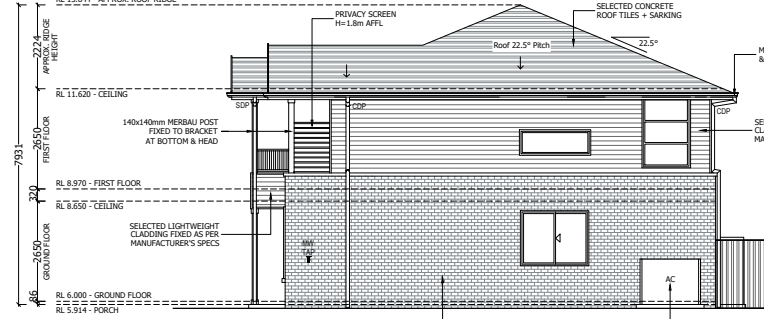
SOUTH ELEVATION
SCALE 1:100



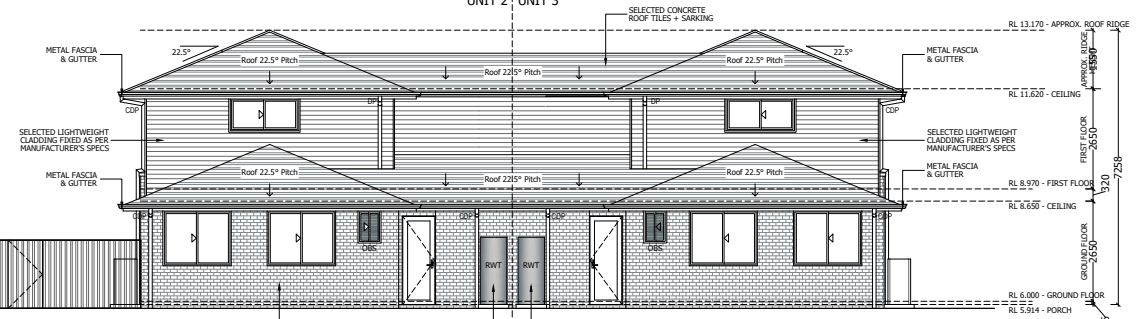
NORTH ELEVATION
SCALE 1:100



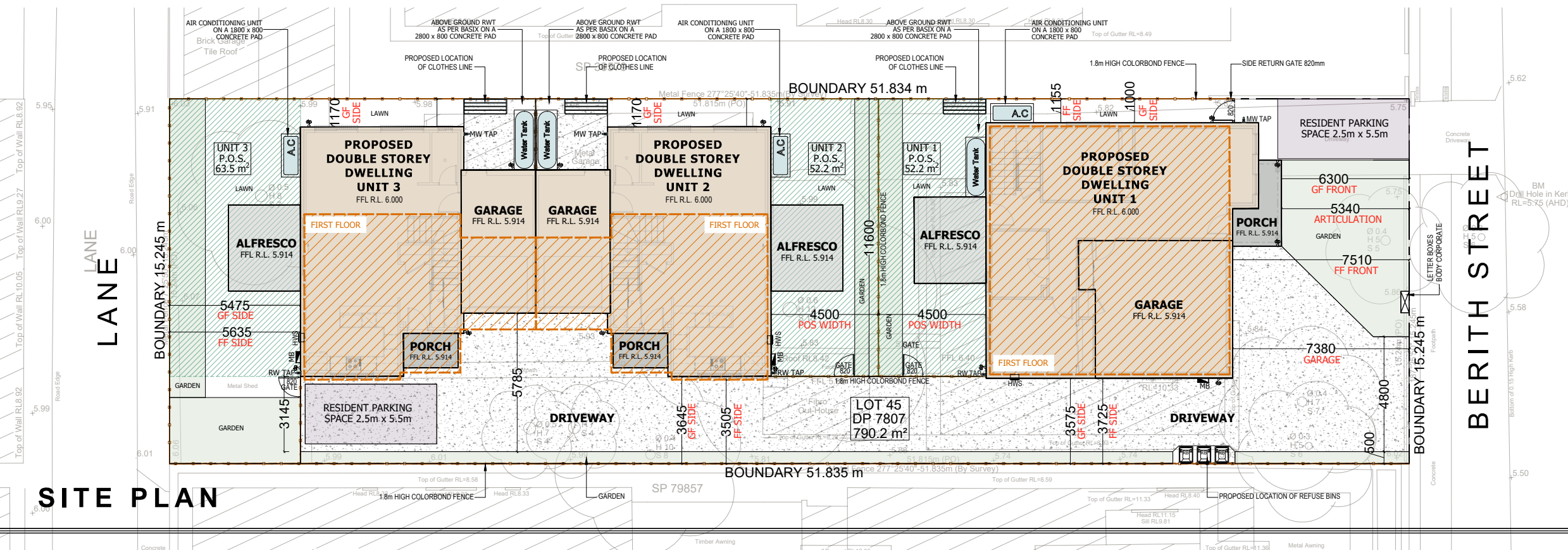
EAST ELEVATION -UNIT 2
SCALE 1:100



WEST ELEVATION-UNIT 1
SCALE 1:100



WEST ELEVATION -UNIT 3
SCALE 1:100



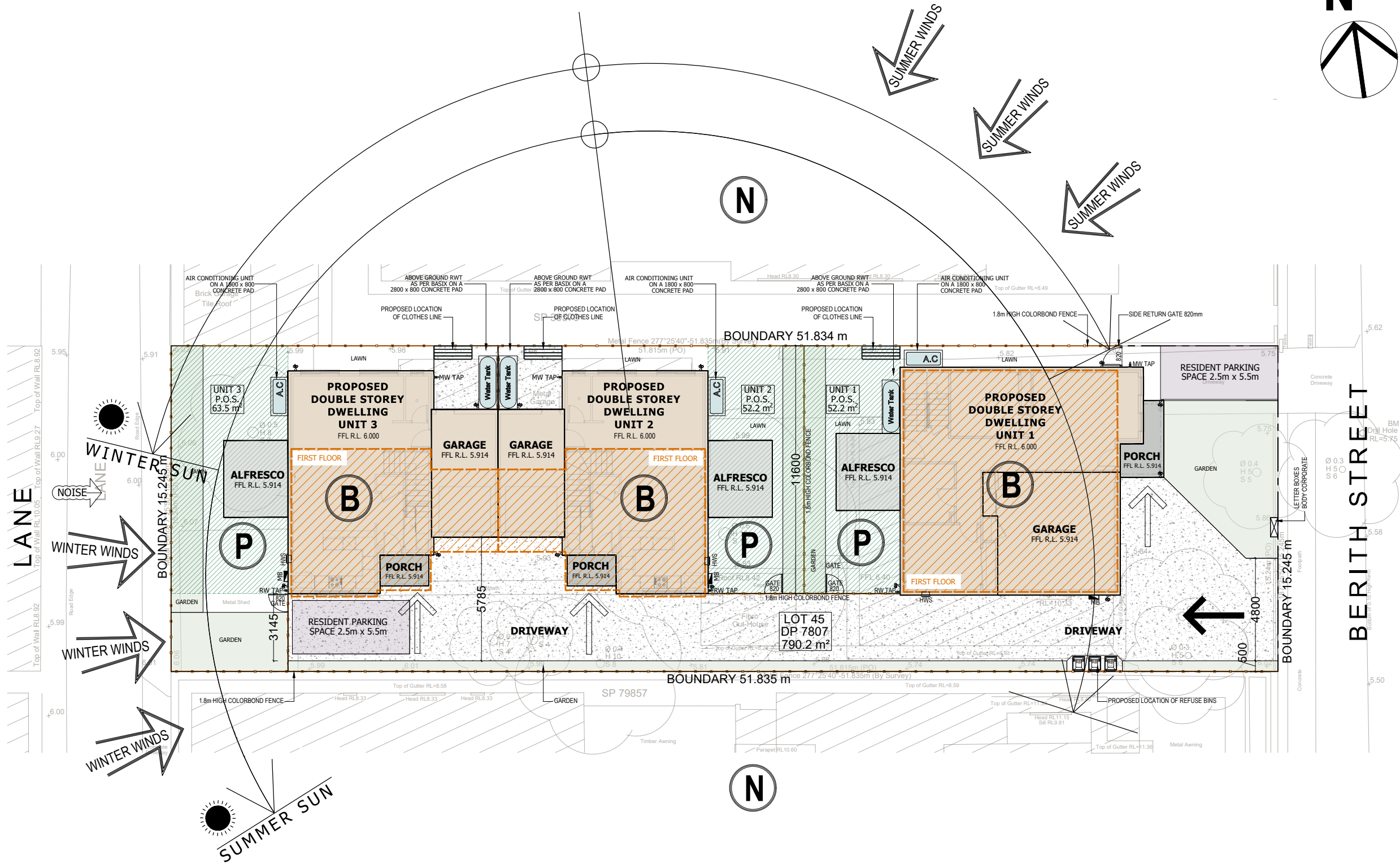
SITE PLAN

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|-------------------|---------|----------------|---------------|
| CLIENT | | PROJECT NUMBER | |
| 7 Berith Street | | MHM..... | |
| ADDRESS | | SUBURB | |
| 7 Berith Street | | Umina Beach | |
| POSTCODE | LOT No. | DP No. | COUNCIL |
| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| NOTIFICATION PLAN | | NP 01 | 1:200 |

MHM CONSTRUCTION GROUP



SITE ANALYSIS PLAN
SCALE 1:200



SITE NOTES:

ONE OUTDOOR CLOTHES LINE PER DWELLING
FIXED ON. FENCE MUST BE INSTALLED AS
SELECTED BY CLIENT.

RETAINING WALL AS PER ENG'S DETAILS (IF
REQUIRED).

SITE ANALYSIS NOTES

Orientation:
The living areas of the dwellings are designed with an east/west orientation. Proper shading and placement of glazing will help in maximizing the potential for cooling southern breezes to ventilate the living areas during summers, thereby adding to the internal comfort. The external shading to glazed areas will enable the dwelling to comfortably achieve ABSA/BASIX thermal comfort targets.

Topography:
The block is fairly flat, as indicated by contours on site plan.

Existing buildings:
There are existing buildings on the site, which are to be demolished in accordance with the demolition plan.

Vegetation:
The site is not clear of trees and vegetation. Trees will be removed in accordance with the demolition plan.

Drainage:
The site naturally drains to the west of the block. Roof water collection will be partially diverted to recycling water tanks for use within the dwellings. The tanks' overflow and the remaining roof area will discharge to the nominated drainage location.

Services:
Electricity will be underground to the house, sewer to the nominated connection point, and stormwater to the nominated drainage location.

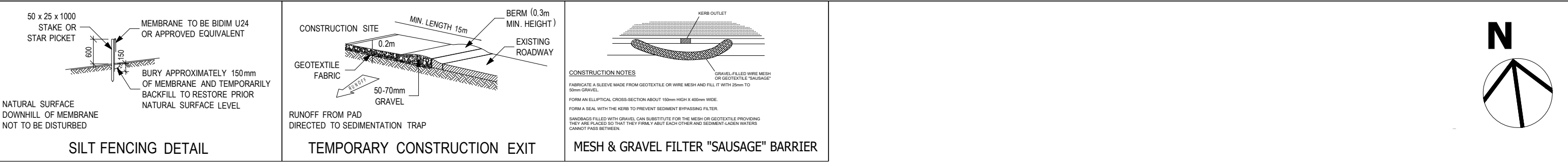
Survey Constraints:
Refer to the site plan for more information.

- WIND DIRECTION
- PROPOSED BUILDING
- PRIVATE OPEN SPACE
- NEIGHBOURING PROPERTIES
- PEDESTRIAN ACCESS
- DRIVEWAY ACCESS
- NOISE DIRECTION

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| 2257 | 45 | 7807 |
| | | COUNCIL |
| | | Central Coast |
| SHEET TITLE | | SHEET No |
| SITE ANALYSIS PLAN | | DA100 |
| | | SCALE |
| | | 1:200 |





SOIL EROSION NOTES:

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY.

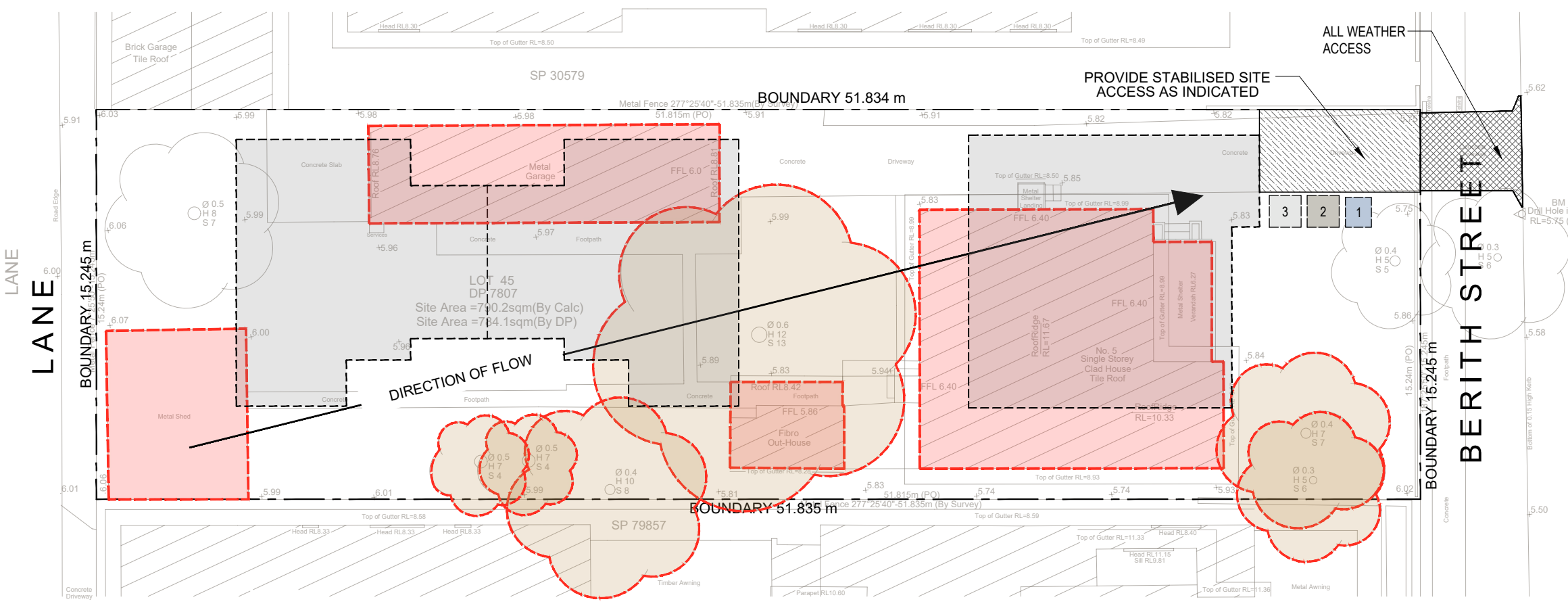
BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

- NOTES**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY CONTRACTOR/SITE MANAGER.
 2. MINIMISE DISTURBED AREAS.
 3. ALL STOCKPILES TO BE CLEARED FROM DRAINS, GUTTERS AND FOOTPATHS.
 4. DRAINAGE IS TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
 5. ROADS AND FOOTPATH TO BE SWEEPED DAILY
 6. UNDER SECTION 16 OF THE CLEAN WATERS ACT HEAVY FINES,INCLUDING A \$600 ON THE SPOT FINE, MAY BE IMPOSED IF A PERSON ALLOWS SOIL, CEMENT SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORM WATER SYSTEM.

- SEDIMENT NOTES :**
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
 2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
 3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 4. BACKFILL TRENCH OVER BASE OF FABRIC.
 5. FIX SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.

*THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:

1. ARCHITECTURAL PLANS
2. CONTOUR AND DETAIL SURVEY



- 1

BIN BLOWABLE RUBISH
- 2

HARD WASTE BRICK CONCRETE
- 3

SOFT WASTE PINE GYPROCK METAL GLASS
- PROPOSED BUILDING ENVELOPE
- BUILDINGS AND STRUCTURES TO BE DEMOLISHED
- TREE TO BE REMOVED

| |
|--|
| EXISTING STRUCTURES AND TREES TO BE DEMOLISHED (SHOWN HATCHED) |
| ESSENTIAL SERVICES TO BE DISCONNECTED IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENT |
| DEVELOPMENT WILL BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001 THE DEMOLITION OF STRUCTURES. |
| STOCKPILES ALL STOCKPILES TO BE LOCATED SECURELY BEHIND THE BUILDING LINE OR SITE FENCING. ALL LOOSE STOCKPILES TO BE SECURELY COVERED IF REQUIRED TO PREVENT DUST AND MATERIAL LEAVING SITE. STOCKPILES TO BE LOCATED IN ACCESSIBLE LOCATION FOR EASE OF DELIVERY AND COLLECTION |

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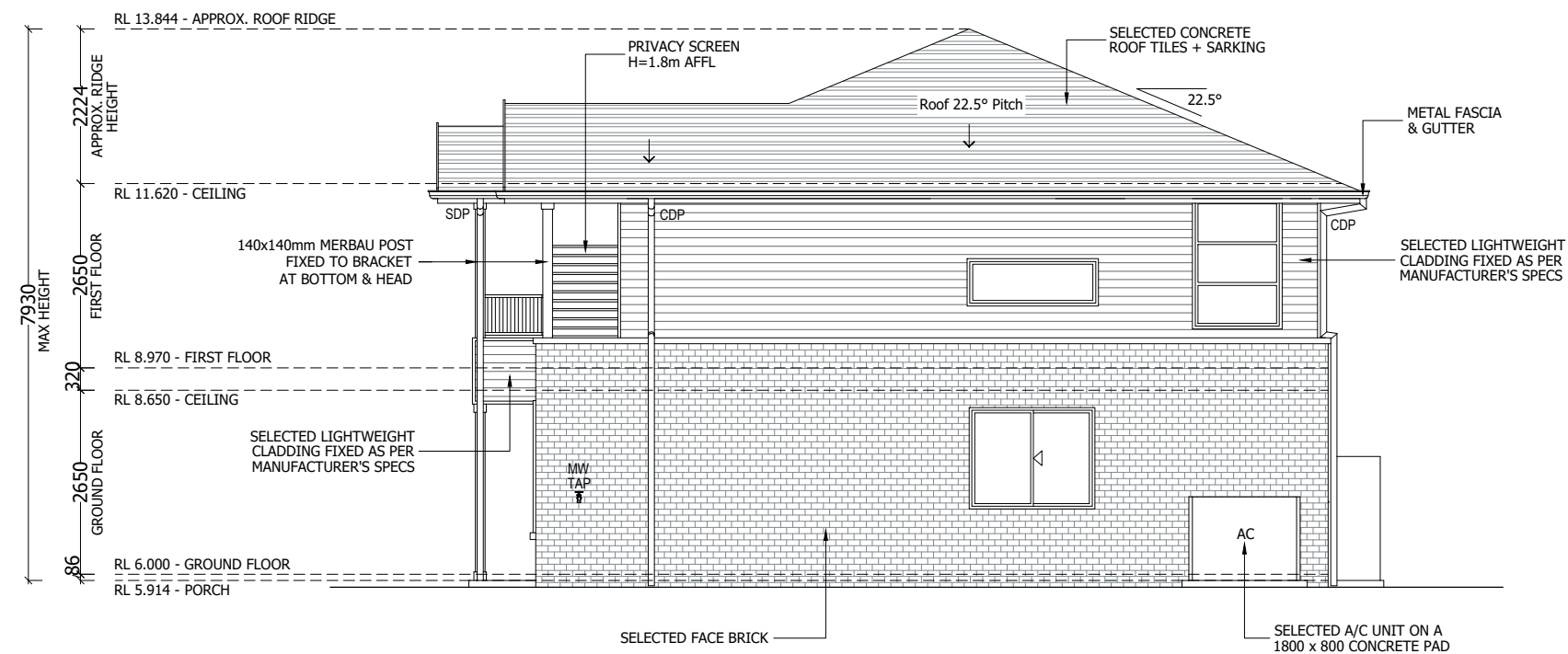
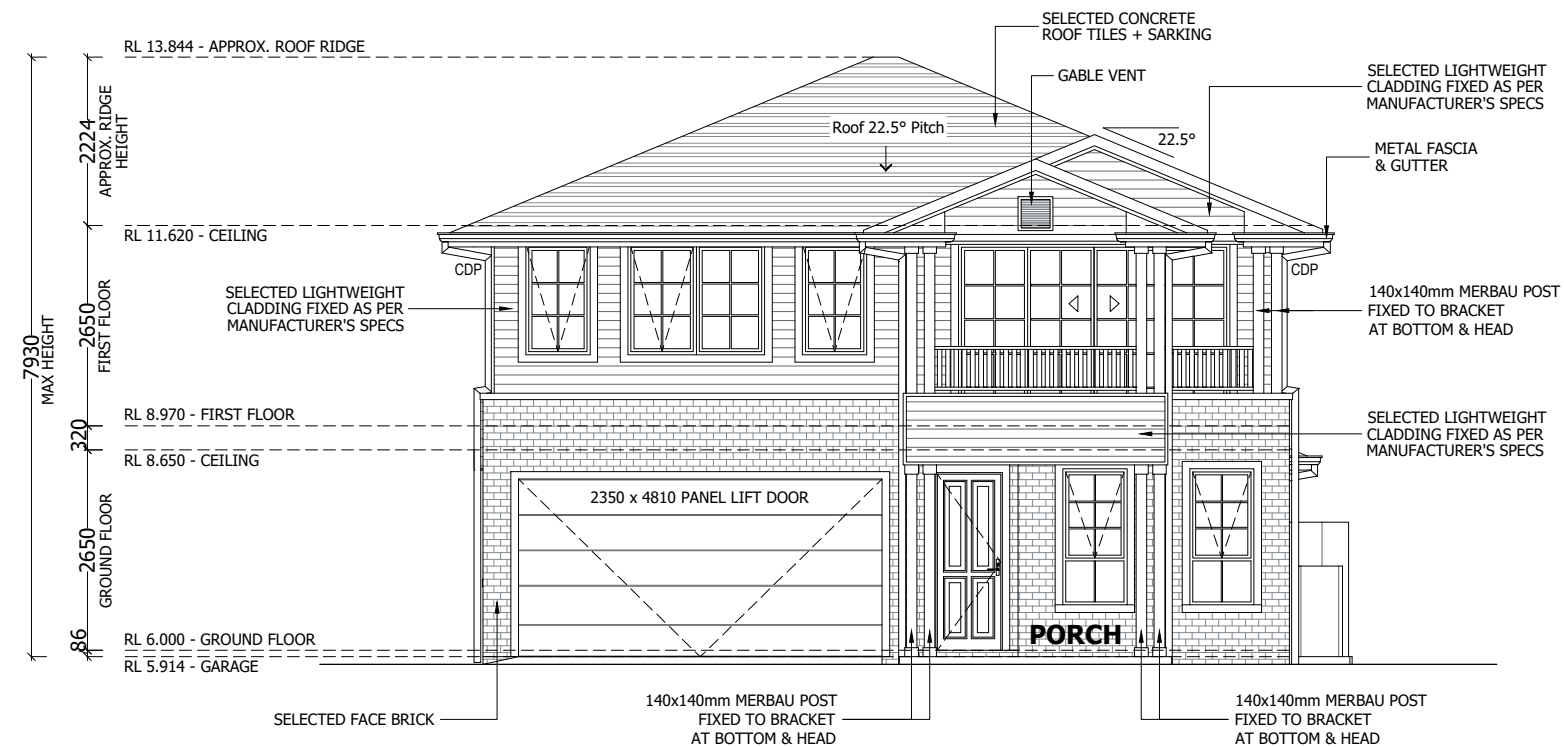
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| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| SITE PLAN - DEMOLITION PLAN | | DA102 | 1:200 |
| MHM CONSTRUCTION GROUP | | | |

SITE PLAN - DEMOLITION PLAN

SEDIMENT CONTROL PLAN


SCALE 1:200

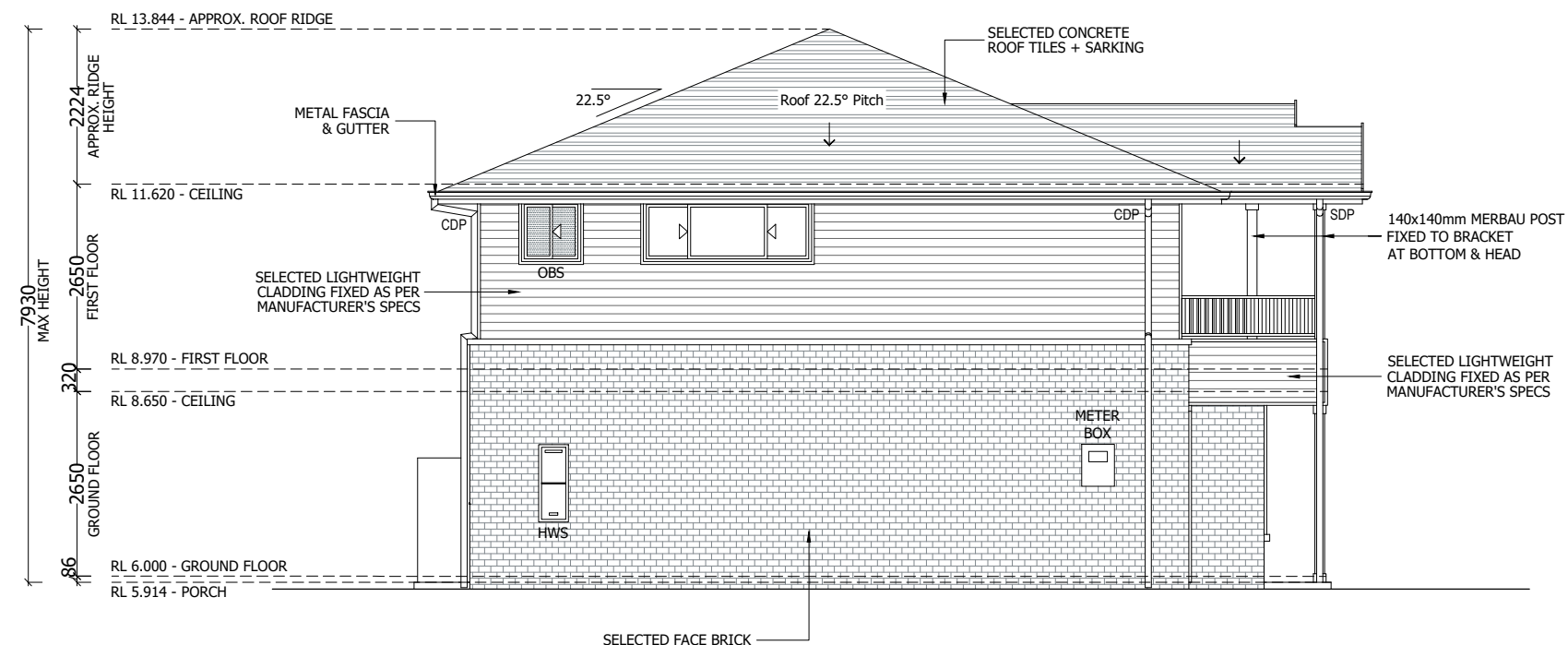
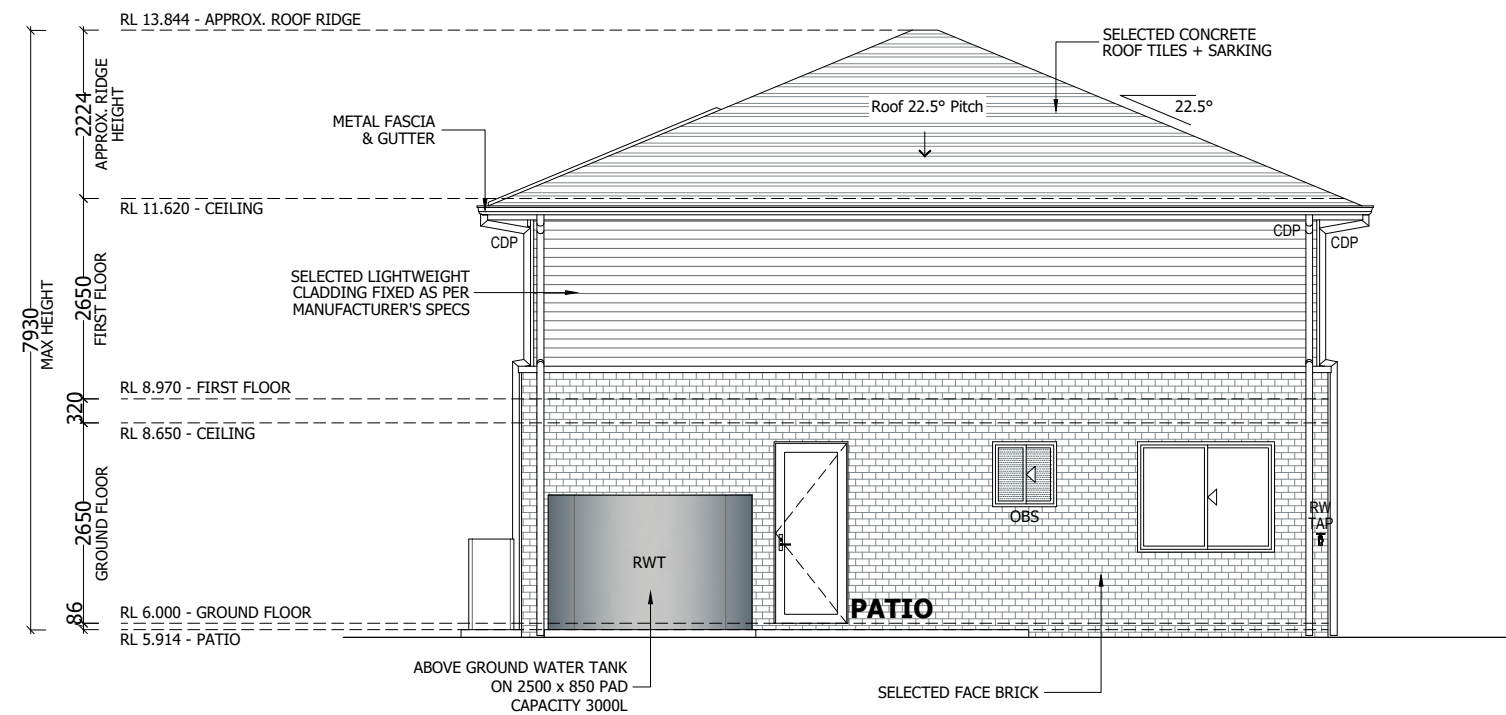
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| ADDRESS 7 Berith Street | | SUBURB Umina Beach | |
| POSTCODE 2257 | LOT No. 45 | DP No. 7807 | COUNCIL Central Coast |
| SHEET TITLE ELEVATIONS EAST&NORTH - UNIT 1 | | SHEET No DA300 | SCALE 1:100 |
|  | | | |




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| ADDRESS 7 Berith Street | | SUBURB Umina Beach | |
| POSTCODE 2257 | LOT No. 45 | DP No. 7807 | COUNCIL Central Coast |
| SHEET TITLE ELEVATIONS WEST&SOUTH - UNIT 1 | | SHEET No DA301 | SCALE 1:100 |
|  | | | |


WINDOW TYPE LEGEND




AWNING




DOUBLE HUNG



FIXED




LOUVRE




SLIDING


GLASS TYPE LEGEND




CLEAR




OBSCURE



ACOUSTIC

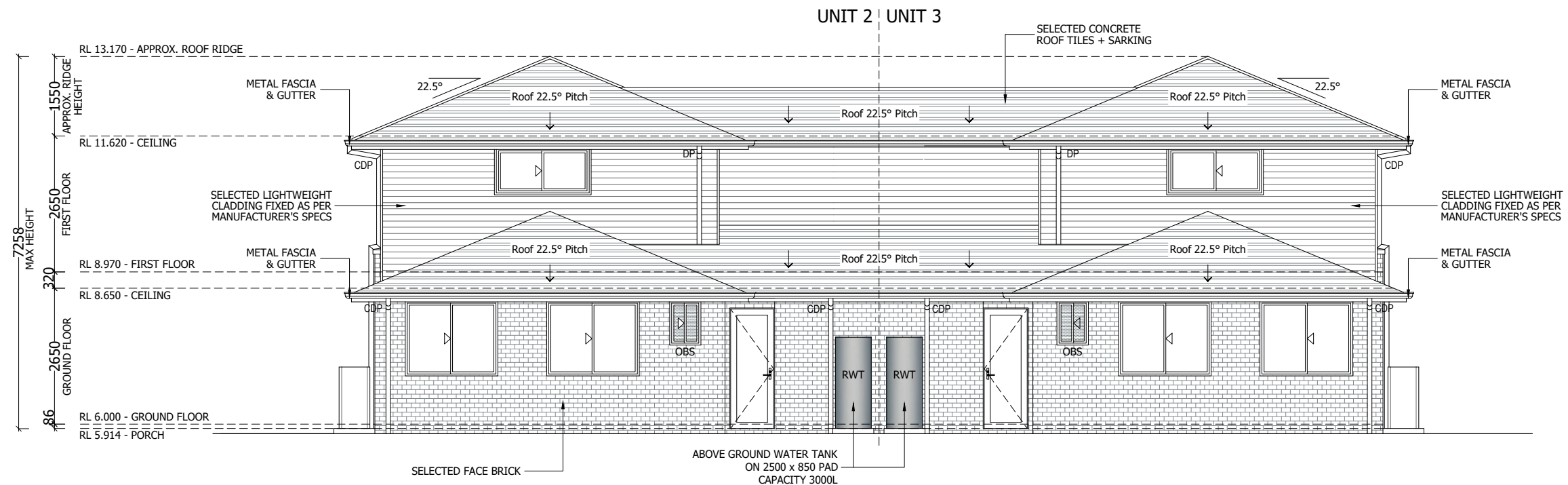


LOW-E

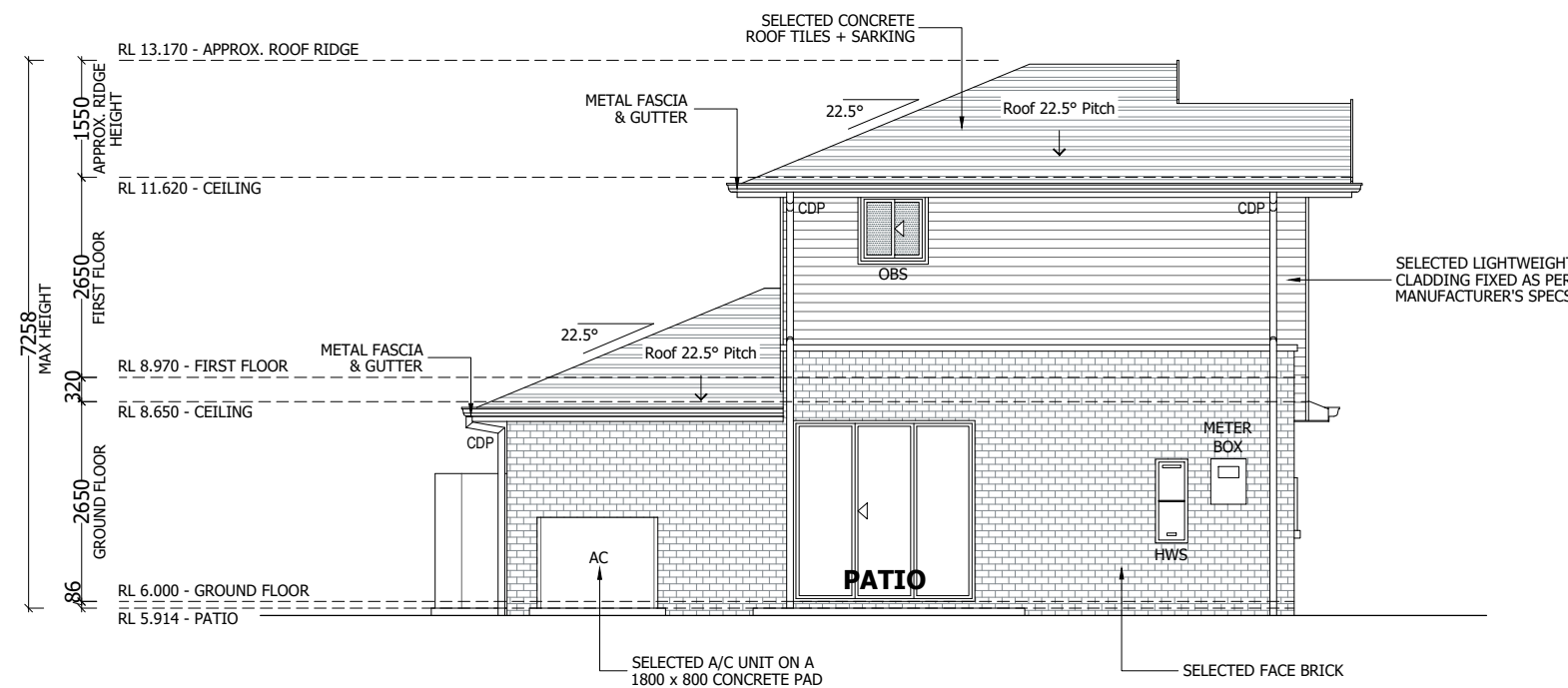


TONED

SH = SNAP HEADER SILL



NORTH ELEVATION-UNIT 2&3
SCALE 1:100



WEST ELEVATION-UNIT 3
SCALE 1:100

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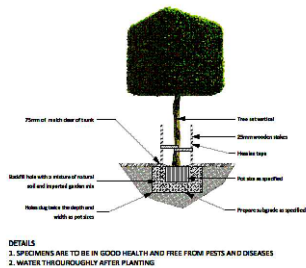
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| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| ELEVATIONS NORTH & WEST - UNIT 2&3 | | DA303 | 1:100 |
| MHM CONSTRUCTION GROUP | | | |

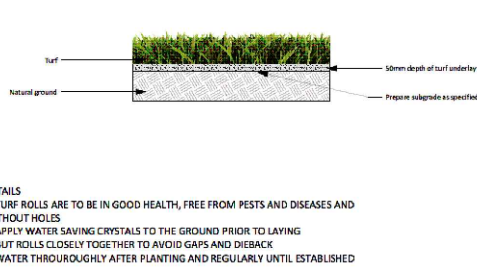
| WINDOW TYPE LEGEND | | | | |
|--------------------|-------------|-------|--------|---------|
| AWNING | DOUBLE HUNG | FIXED | LOUVRE | SLIDING |

| GLASS TYPE LEGEND | | | | |
|-----------------------|---------|----------|-------|-------|
| CLEAR | OBSCURE | ACOUSTIC | LOW-E | TONED |
| SH = SNAP HEADER SILL | | | | |

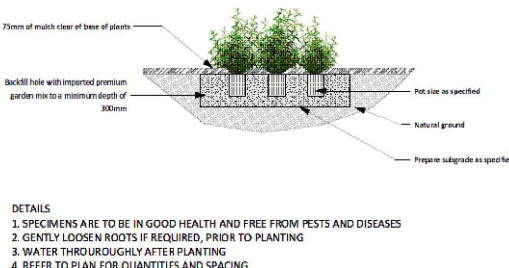
TREE PLANTING DETAIL



TURF LAYING DETAIL



SHRUB AND GROUND COVER PLANTING DETAIL



EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION.

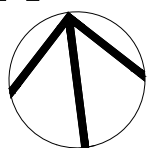
LANDSCAPING, LETTERBOX, FENCING, RETAINING WALLS, EXPORT TO BE DONE BY CLIENT.

DRIVEWAY INCLUDED BY BUILDER.

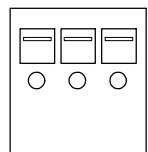
LANDSCAPING CALCULATION

| | | |
|-----------------------------|----------------|-----------------------------------|
| SITE AREA | = 790.2 sq.m. | (100%) |
| TOTAL BUILDING FOOTPRINT | = 345.68 sq.m. | (43.8%) |
| TOTAL CONCRETE AREA | = 64.45 sq.m. | (8%) |
| TOTAL PEBBLES AREA | = 33.7 sq.m. | (4%) |
| TOTAL LANDSCAPING | = 232.46 sq.m. | (29%) |
| MIN LANDSCAPING | = 197.55 sq.m. | (25%) |
| TOTAL DEEP SOIL LANDSCAPING | = 111.04 sq.m. | (56.2%) |
| MIN DEEP SOIL LANDSCAPING | = 98.78 sq.m. | (50% of MIN REQUIRED LANDSCAPING) |

N



900



1m HIGH MASONRY RENDERED LETTER BOX BODY CORPORATE TO SUIT RENDERED FACADE FINISH

FENCE TYPE A DETAIL SCALE 1:50

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LANDSCAPING PLAN SCALE 1:100

LANDSCAPE NOTES:

TURF :
EXCAVATE/ GRADE AREAS TO BE TURFED TO 120MM BELOW THE REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITH 1500MM OF ANY EXISTING TREE TO BE RETAINED. ENSURE THAT ALL OF THE SURFACE WATER RUNOFF IS TO BE DIRECTED TOWARDS THE INLET PITS, KERBS ETC. AWAY FROM BUILDINGS. ENSURE THAT NO POOLING OR PONDING WILL OCCUR. RIP SUBGRADE TO 150MM DEEP. INSTALL 100MM DEPTH OF IMPORTED TOPSOIL. JUST PRIOR TO SPREADING TURF, SPREAD 'SHIRLEYS NO. 17 LAWN FERTILISER' OVER THE TOPSOIL AT THE RECOMMENDED RATE. LAY SIR WALTER BUFFALO TURF ROLLS CLOSELY BUTTED. FILL ANY SMALL GAPS WITH TOPSOIL. WATER THOROUGHLY. STABILISED CRUSHED SANDSTONE PATH TO BE CRUSHED SANDSTONE OVER WEEDMAT TO DEPTH OF 50MM. STABILISED WITH 5% CEMENT.

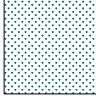
TIMBER EDGING:
TREATED HARDWOOD EDGING. THE EDGES ARE TO BE LAID IN EVEN CURVES AND STRAIGHT LINES AS INDICATED ON THE PLAN. WHERE TIGHT CURVES ARE SHOWN SCORE PINE TO ACHIEVE MORE EVEN CURVES. THE TOP OF THE EDGE IS TO FINISH FLUSH WITH THE ADJACENT TURF AND MULCH LEVELS.

PLANTING AREAS :
ENSURE THAT THE MASS PLANTING AREAS HAVE BEEN EXCAVATED TO 300MM BELOW FINISHED LEVELS. RIP TO A FURTHER DEPTH OF 150MM. SUPPLY AND INSTALL 300MM SOIL MIX IF REQUIRED OR IMPROVE EXISTING SOIL WITH COMPOST BLEND. SOIL MIX TO COMPRISE OF ONE PART APPROVED COMPOST TO THREE PARTS TOP SOIL. TOPSOIL SHALL BE EITHER IMPORTED TOPSOIL OR STOCKPILED SITE TOPSOIL (IF SUITABLE IE. NO CLAY). INSTALL 75MM OF SELECTED MULCH. MULCH TO BE ANL 'FOREST BLEND'.

GROUND COVER LEGEND



DEEP SOIL ZONES
NATIVE PLANTS



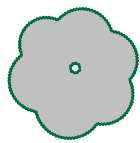
SOFT LANDSCAPING
LAWN GRASS



PAINTED CONCRETE
DRIVEWAY



PEBBLES



EXISTING TREE

LANDSCAPING LEGEND

| CODE | SYMBOL | BOTANICAL NAME | MATURE SIZE | POT SIZE | QTY | IMAGE |
|------|--------|----------------------------|-------------|----------|-----|-------|
| DSS | | DIANELLA 'SILVER STREAK' | 0.4x0.4 | 140mm | 125 | |
| WB | | WESTRINGIA 'BLUE GEM' | 1.3m x 1.5m | 200mm | 88 | |
| LW | | LOMANDRA WINGARRA | 0.4x0.4 | 140mm | 24 | |
| PG | | PITTOSPORUM 'GREEN PILLAR' | 1.5m x 3.0m | 330mm | 26 | |
| MG | | MAGNOLIA 'LITTLE GEM' | 4m x 2.5m | 5 ltr | 2 | |

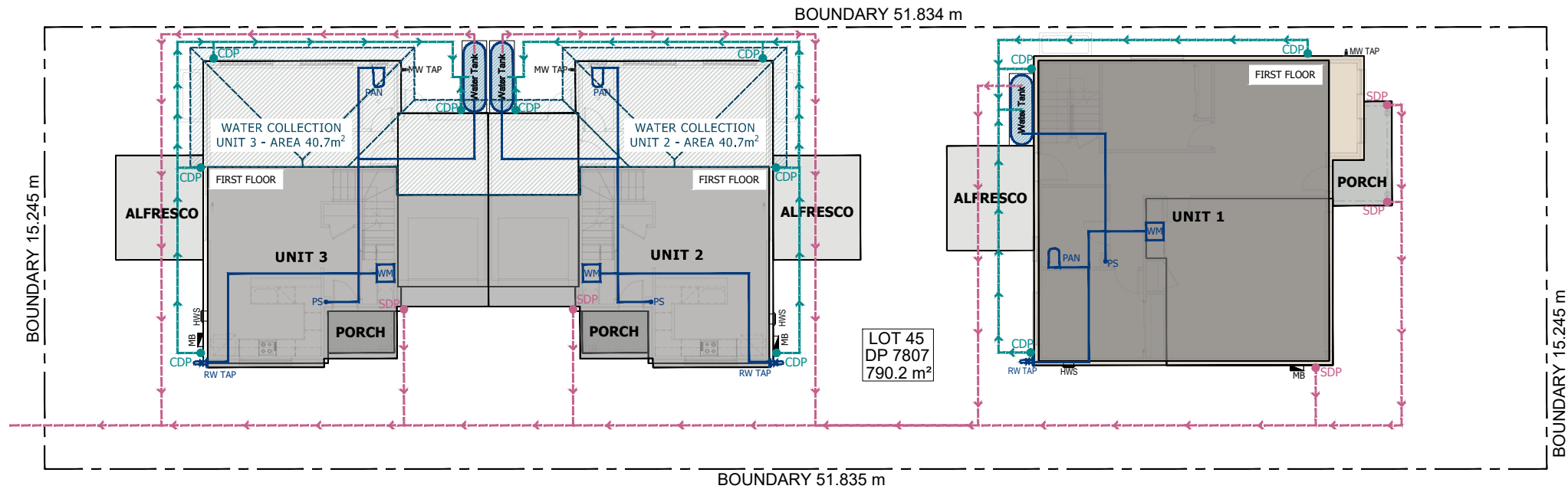
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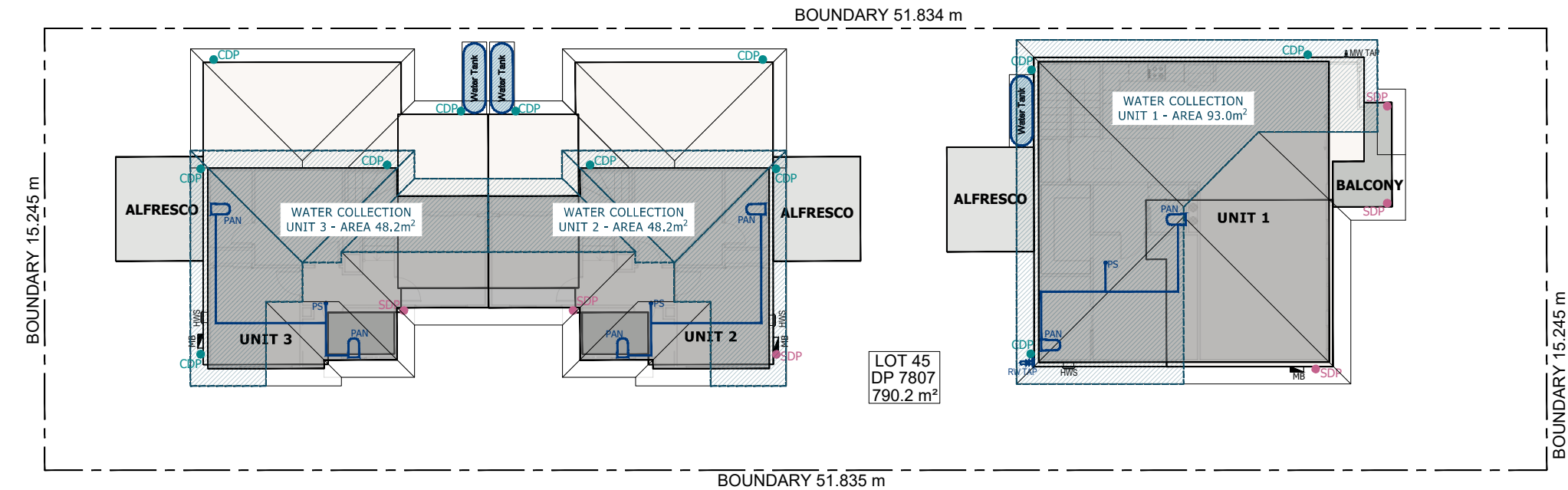
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| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| LANDSCAPING PLAN | | DA400 | 1:200 |

MHM CONSTRUCTION GROUP

LANE



LANE



BERITH STREET

BERITH STREET

DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3

- GENERAL NOTES
1. ALL WORK TO BE DONE TO SATISFACTION OF CITY COUNCIL.
 2. PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH PLANS, SPECIFICATION, AND LEVELS ISSUED SEPERATELY BY COUNCIL.
 3. PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH PLANS, SPECIFICATION, AND LEVELS ISSUED SEPERATELY BY COUNCIL.
 4. ALL STORMWATER DRAINAGE PIPES SHALL BE A MINIMUM Ø100mm UPVC (AND AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE.
 5. MINIMUM FALL OF 1:80 WITH 300mm COVER.
 6. DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 meters.
 7. ALL GUTTERS SHALL BE MINIMUM 100mm x 75mm AND DOWNPIPES SHALL BE MINIMUM 100mm x 75mm UNLESS NOTED OTHERWISE.
 8. ALL GUTTERS SHALL HAVE 0.01 GRADIENT.
 9. STORMWATER MIN 1% FALL TO STREET.

- PLUMBING LEGEND
- WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS-TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY-ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)-ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY
 - CHARGED LINE TO WATER TANK
 - WATER TANK OVERFLOW LINE
 - RECYCLED COLD WATER LINE
 - SDP ● STANDARD DOWNPIPE
 - CDP ● CHARGED DOWNPIPE
 - R/W TAP RAINWATER TAP

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| | | |
|---|-------------------------|------------|
| 1 | ISSUE FOR DA | 10.01.2024 |
| 2 | BASIX COMMITMENTS ADDED | 13.03.2024 |
| 3 | | |
| 4 | | |
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|----------------------------|---------|----------------|---------------|
| CLIENT | | PROJECT NUMBER | |
| 7 Berith Street | | MHM..... | |
| ADDRESS | | SUBURB | |
| 7 Berith Street | | Umina Beach | |
| POSTCODE | LOT No. | DP No. | COUNCIL |
| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| STORMWATER MANAGEMENT PLAN | | DA500 | 1:200 |

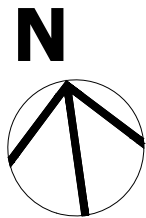
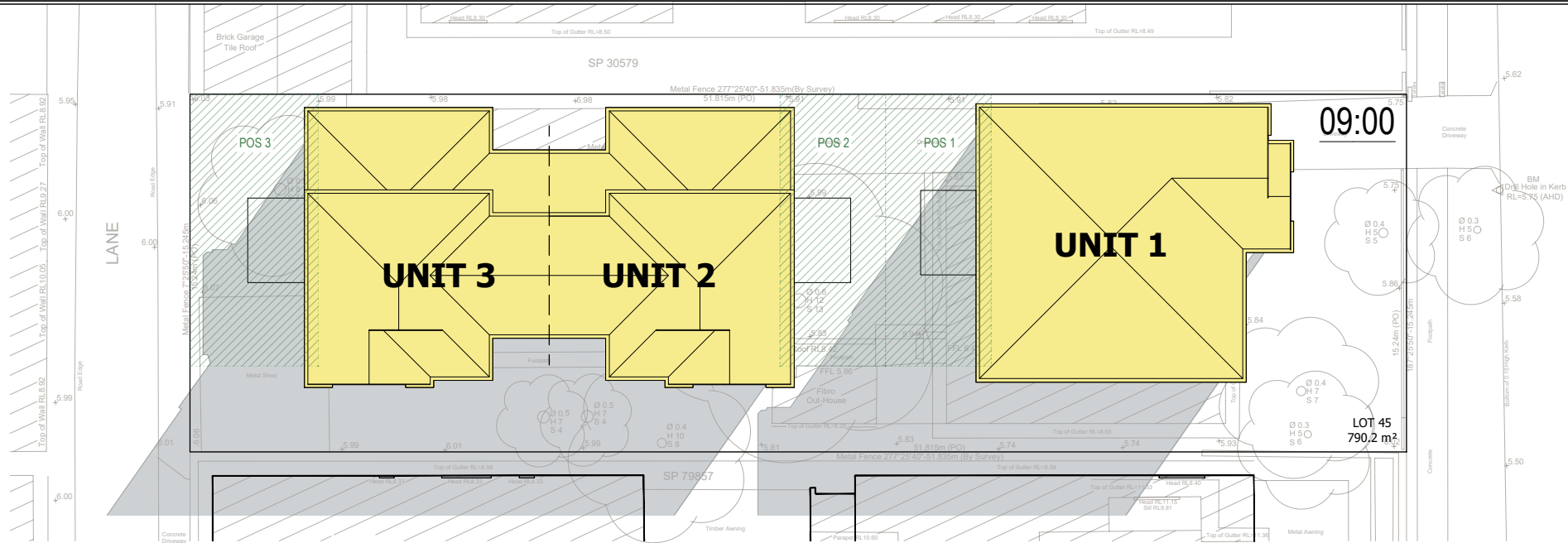
MHM CONSTRUCTION GROUP

NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS TO BE DIVERTED TO WATER TANK. BALANCE

UNIT 1 WATER COLLECTION AREA - 93.0 sq.m.
UNIT 2 WATER COLLECTION AREA - 88.9 sq.m.
UNIT 3 WATER COLLECTION AREA - 88.9 sq.m.

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.



**SOLAR ACCESS
UNIT 1 (POS):**

| TIME | (%) AREA RECEIVING DIRECT SUNLIGHT | COMPLIES |
|-------|---------------------------------------|----------|
| 09:00 | 35% | NO |
| 10:00 | 55% | YES |
| 11:00 | 80% | YES |
| 12:00 | 100% | YES |
| 13:00 | 100% | YES |
| 14:00 | 100% | YES |
| 15:00 | 70% | YES |

| | | |
|--------|--|-----|
| RESULT | 5:30h DIRECT SUNLIGHT ON POS (11.6m x 4.5m) | YES |
|--------|--|-----|

**SOLAR ACCESS
UNIT 2 (POS):**

| TIME | (%) AREA RECEIVING DIRECT SUNLIGHT | COMPLIES |
|-------|---------------------------------------|----------|
| 09:00 | 90% | YES |
| 10:00 | 98% | YES |
| 11:00 | 100% | YES |
| 12:00 | 85% | YES |
| 13:00 | 65% | YES |
| 14:00 | 40% | NO |
| 15:00 | 30% | NO |

| | | |
|--------|--|-----|
| RESULT | 4:00h DIRECT SUNLIGHT ON POS (11.6m x 4.5m) | YES |
|--------|--|-----|

**SOLAR ACCESS
UNIT 3 (POS):**

| TIME | (%) AREA RECEIVING DIRECT SUNLIGHT | COMPLIES |
|-------|---------------------------------------|----------|
| 09:00 | 45% | NO |
| 10:00 | 70% | YES |
| 11:00 | 90% | YES |
| 12:00 | 100% | YES |
| 13:00 | 100% | YES |
| 14:00 | 100% | YES |
| 15:00 | 100% | YES |

| | | |
|--------|--|-----|
| RESULT | 5:30h DIRECT SUNLIGHT ON POS (11.6m x 5.475m) | YES |
|--------|--|-----|

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| CLIENT | | PROJECT NUMBER | |
| | | MHM..... | |
| ADDRESS | | SUBURB | |
| 7 Berith Street | | Umina Beach | |
| POSTCODE | LOT No. | DP No. | COUNCIL |
| 2257 | 45 | 7807 | Central Coast |
| SHEET TITLE | | SHEET No | SCALE |
| SOLAR ACCESS DIAGRAMS | | DA600 | N/A |

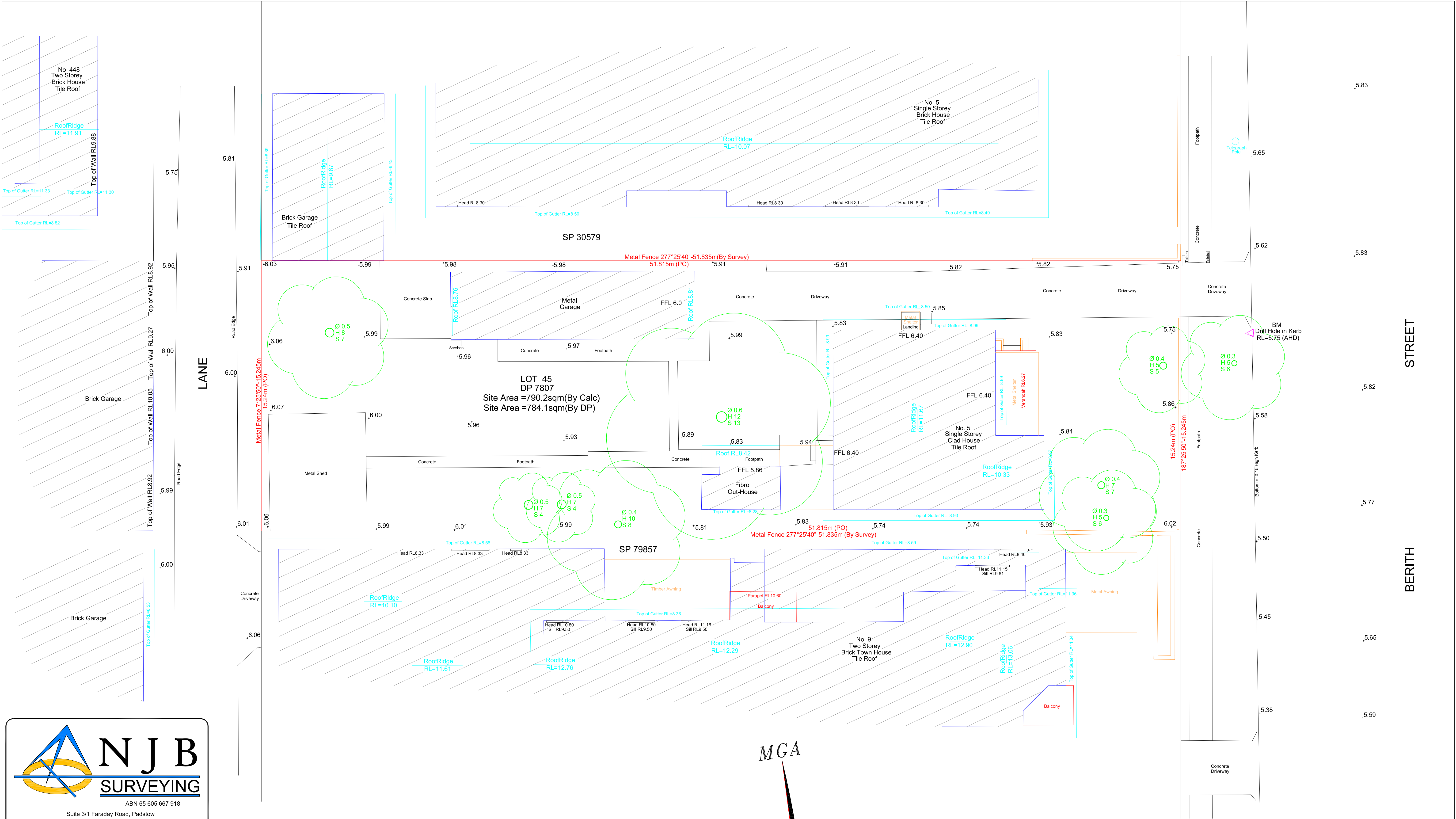


| MATERIAL & FINISHES SCHEDULE | | | |
|------------------------------|----------------------|---------------------------------------|---|
| KEYNOTE | ITEM | SELECTED FINISH | MANUFACTURER'S SPEC |
| FR 1 | MAIN ROOF FINISH | CONCRETE TILES | BRISTLE ROOF COOL SMOKE |
| FR 2 | GUTTER | METAL | HAYMES SURFMIST |
| FR 3 | FASCIA/BARGEBOARD | METAL | HAYMES SURFMIST |
| FR 4 | DOWNPIPE | uPVC | HAYMES SURFMIST |
| FR 5 | EAVE BALCONY CEILING | RENDER PAINTED FINISH | HAYMES TO MATCH DOVER WHITE |
| FW 1 | EXTERIOR WALLS | FACE BRICKWORK | AUSTRAL BRICKS WILDERNESS DESIGN SILVER BIRCH |
| FW 2 | EXTERIOR WALLS | JAMES HARDIE LINEA WEATHERBOARD 150mm | HAYMES TO MATCH DOVER WHITE |
| WF | WINDOW FRAMES | ALUMINIUM | HAYMES TO MATCH DOVER WHITE |
| WT | WINDOW TRIM | PAINTED TIMBER | HAYMES TO MATCH DOVER WHITE |
| FP | FEATURE POSTS | PAINTED TIMBER/MERBAU | HAYMES TO MATCH DOVER WHITE |
| ED | ENTRY DOOR | HUME DOORS HV14 | COLORBOND HAYMES MONUMENT |
| GD | GARAGE DOOR | FLAT-LINE PROFILE | HAYMES TO MATCH DOVER WHITE |
| BAL | BALCONY BALUSTRADE | PAINTED TIMBER BALUSTRADE | HAYMES TO MATCH DOVER WHITE |
| FD | DRIVEWAY | PAINTED CONCRETE | FRENCH GREY |
| MB | MAIL BOX | FACE BRICKWORK | AUSTRAL BRICKS WILDERNESS DESIGN SILVER BIRCH |

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| CLIENT | | | PROJECT NUMBER | |
| | | | MHM..... | |
| ADDRESS | | | SUBURB | |
| 7 Berith Street | | | Umina Beach | |
| POSTCODE | LOT No. | DP No. | COUNCIL | |
| 2257 | 45 | 7807 | Central Coast | |
| SHEET TITLE | | | SHEET No | SCALE |
| COLOURS & MATERIALS SCHEDULE | | | DA800 | 1:100 |





NJB

SURVEYING

ABN 65 605 667 918

Suite 3/1 Faraday Road, Padstow

MOB: 0414642411 Email: nathan@njbsurveying.com.au

PLAN SHOWING DETAIL & LEVELS

7 BERITH STREET

UMINA BEACH N.S.W. 2257

ORIGIN OF LEVELS SSM 159967

AHD=5.992

| | |
|-----------|---------------|
| PROJECT | DETAIL SURVEY |
| CLIENT | |
| DATE | 18.05.2023 |
| REFERENCE | B.B |
| ISSUE | 1 |
| SCALE | 1:100 A1 |

- NOTES:
- BEARINGS AND DISTANCES HAVE BEEN COMPILED FROM DP1120086 FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW.
 - RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE A FURTHER SURVEY - UNLESS OTHERWISE SHOWN.
 - WARNING: IF IS INTENDED TO ERECT ANY IMPROVEMENTS ALONG OR NEAR BOUNDARIES - EITHER FOR DESIGN OR BUILDING SET OUT - A BOUNDARY IDENTIFICATION AND/OR SET OUT SURVEY SHOULD BE UNDERTAKEN.
 - NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
 - RIDGE, EAVE AND GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ONLY ACCURATE FOR PLANNING PURPOSES ONLY.
 - ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY WORK.
 - THE DIAMETER, SPREAD AND HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY WORK.
 - THIS DETAIL & LEVELS PLAN IS PROVIDED FOR THE PRIVATE & CONFIDENTIAL USE OF THE CLIENT MENTIONED ONLY AND CANNOT BE USED OR RELIED UPON BY ANOTHER PARTY.

NOTES ON SUBJECT TITLE (LOT 837 IN DP 242535)

- AA647356 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

THIS INFORMATION HAS NOT BEEN INVESTIGATED BY US BUT IS RECOMMENDED THAT IT BE CHECKED BY A SOLICITOR.

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BEFORE YOU DIG