

Statement of Environmental effects for

Lot 348 DP 10 186
107 Australia Ave, Umina Beach

The development

The proposal is for the demolition of the existing dwelling and construction of a new two storey dwelling and the installation of a pool. The vegetation is marked on the site plan and will need to be removed to accommodate the proposal.

wall

The Site

The site is currently developed and consists of a single storey clad dwelling.



- The standard residential lot with a primary street frontage of 12.19m to Australia Ave.
- There is a fall of 300mm over the lot, no significant cut or fill will be required.
- The site area is 533.1m²
- The site coverage is 43.7%

Site preparation

General

- A site sign, 600 x 450 or larger is to be erected in a prominent position.
- An onsite chemical toilet is to be provided during construction.
- All building materials and waste are to be contained wholly within the site.

Erosion control

- A silt fence is to be installed and maintained during construction. Vegetation is to be planted after construction to reduce soil erosion.
- The proposal has been designed to follow the natural lay of the land, the maximum cut is 150mm, and the maximum fill is 150mm.

Existing Vegetation

- Vegetation that is to be retained shall have their root system protected by one of the following ways

- F62 mesh
- 100mm deep hardwood chips
- 100mm deep sandstone rubble
- 50mm deep pea gravel

Waste management

- All excess building materials are to be taken to the builder's storage yard for future use.
- All waste materials are to be placed in an onsite bin and taken to an approved waste management centre for disposal or recycling.

PERFORMANCE CRITERIA

BUILDING HEIGHT (Compliant)

- The maximum building height is 8.0m, which IS COMPLIANT with DCP/LEP
- Shadow diagrams are attached as part of this development application.

FLOOR SPACE RATIO (Compliant)

- The Floor space ratio is $228.1:533.1 = 42.7\%$

SITE SETBACKS

- The required front setback is the average of the two neighbouring developments. This would require a setback of 5.75m
 - The requested relaxations are:-
 - 3.6m to the front verandah (Non-compliant)
 - 4.5m to the front wall (Non Compliant)
 - 5.307m to the garage wall (Non Compliant)

JUSTIFICATION

- The lot has a narrow street frontage, 12.19m and faces North/South. By reducing the front setback, which is to the South, the private open space, which faces North, is increased. The useful private open space allows for the installation of a pool and promotes outdoor living.
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- Australia Avenue is not a busy road and the reduced front setback does not inhibit the line of sight for the neighbouring properties.
- The average length of a motor car in Australia is 4.9m, the setback to the garage is 5.307m which means an average motor vehicle can be parked in front of the garage as stack parking. In addition to this, visitor parking / off street parking is provided to the rear of the lot with access off Lens Ave.
- The design of the building is such that the building scale and bulk is broken up so the streetscape will not be adversely affected by the development, see figure 1A and 1B

Fig 1A - Existing Streetscape

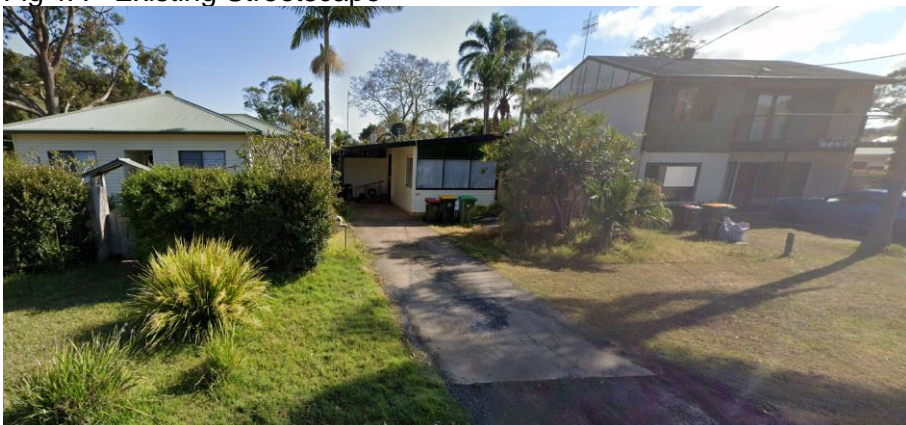


Fig. 1B- Proposed Streetscape



- The side setbacks are compliant with the DCP.
- The rear setback is compliant with the DCP.

GARAGE DOOR ARTICULATION (Compliant)

- The garage door width is 4.8m. the building width is 10.46m Garage door is 46% of the building width and is set back 1.08m from the front wall of the building.

RESIDENTIAL AMENITY

VIEWS (Compliant)

- There are no desirable views from this lot or the surrounding lots.

VISUAL PRIVACY (Compliant)

- The proposal locates living areas on the lower floor. The second floor consist of Bedrooms and amenities.
- Windows have been located so that the windows to primary living areas do not overlook the neighbouring lots.
- The windows of the primary living areas are screened by a dividing fence.

PRIVATE OPEN SPACE (Compliant)

- An undercover alfresco with an area of 31.9m² is directly accessible from the main living area and is located with a northerly aspect. The rear yard which includes a pool has a northerly aspect and is directly accessible from the living areas via the Alfresco

SUNLIGHT ACCESS (Compliant)

- The living areas are located on the Northern side of the building.
- The private open space has direct sunlight to more than 50% of the are on June 22
- The neighbouring lots are not adversely affected by the proposed development.
- See Shadow diagrams submitted with this application.

CAR PARKING AND ACCESS (Compliant)

- The proposal has is for a 4-bedroom dwelling and includes a double lock up garage for carparking. Visitor carparking is available as stack packing.

EARTHWORKS AND STRUCTURAL SUPPORT

EARTHWORKS (Compliant)

- The existing site is flat, minimal excavation is required and will create issues for existing neighbouring developments.
- It is expected the soil classification to be Class "S" and deep excavation is not required for stabilisation.

RETAINING WALLS (Not Applicable)

- There is no need for structural retaining walls to accommodate the proposed dwelling.

DRAINAGE (Compliant)

- The stormwater will be piped to the street gutter via a rainwater tank as per BASix requirements.
- Connection to the drainage system in accordance with AS3500

External Appearance

- The proposal has been designed with the surrounding developments in mind,
- Neighbourhood character has been accounted for by using a mixture of materials, and creating steps in the building. The articulation created in the walls transfers to the roof line which creates visual interest.
- The proposal is setback in accordance with the neighbourhood
- The garage door does not dominate the streetscape
- The proposal allows for casual surveillance

ANCILARY DEVELOPMENT

SWIMMING POOL

- The proposal includes a pool, and the pool is to be fenced in accordance with the NCC requirements.
- The pool is located in the rear yard.
- The pool is inground and is setback more than 900mm from the side boundary to the waterline. The concrete pool surround will go to the boundary.

OTHER NOTES

Energy Conservation

- The project is subject to NSW BASix requirements, a BASix report forms part of the development application.
- Solar access for the proposed development has been considered.
 - Outdoor entertaining areas are covered and open, they are located on the northern side.
 - Living areas are located on the Northern side
 - The proposal allows for natural light to enter the dwelling

Visual and Acoustic Privacy

- The proposed development located windows so that they don't specifically overlook the neighbouring developments.
- Heavy machinery may be required during construction, however the ongoing noise generated will be of a domestic nature including vehicles and lawn mowers.

Fences and Walls

- Fences do not form part of this application, however dividing fences will be in accordance with the estate guidelines.

Traffic and Vehicular access

- The proposal includes a double garage to the main dwelling.
- A separate driveway and vehicular access application will be submitted.
- The vehicular access point does not cross through a bus stop or taxi rank.
- The driveway allows for visitor parking as stack parking.
- There is in excess of 90m clear line of site in either direction from the driveway.
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Heritage

- This lot is not protected under any heritage acts.