

SITE ANALYSIS

DEVELOPMENT CONSENT
APPROVAL

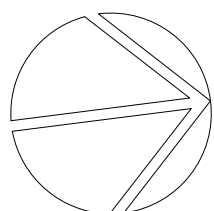
DA/472/2023
Dated: 18 May 2023



LOT 239
TWO STOREY
BRICK RESIDENCE
No.93

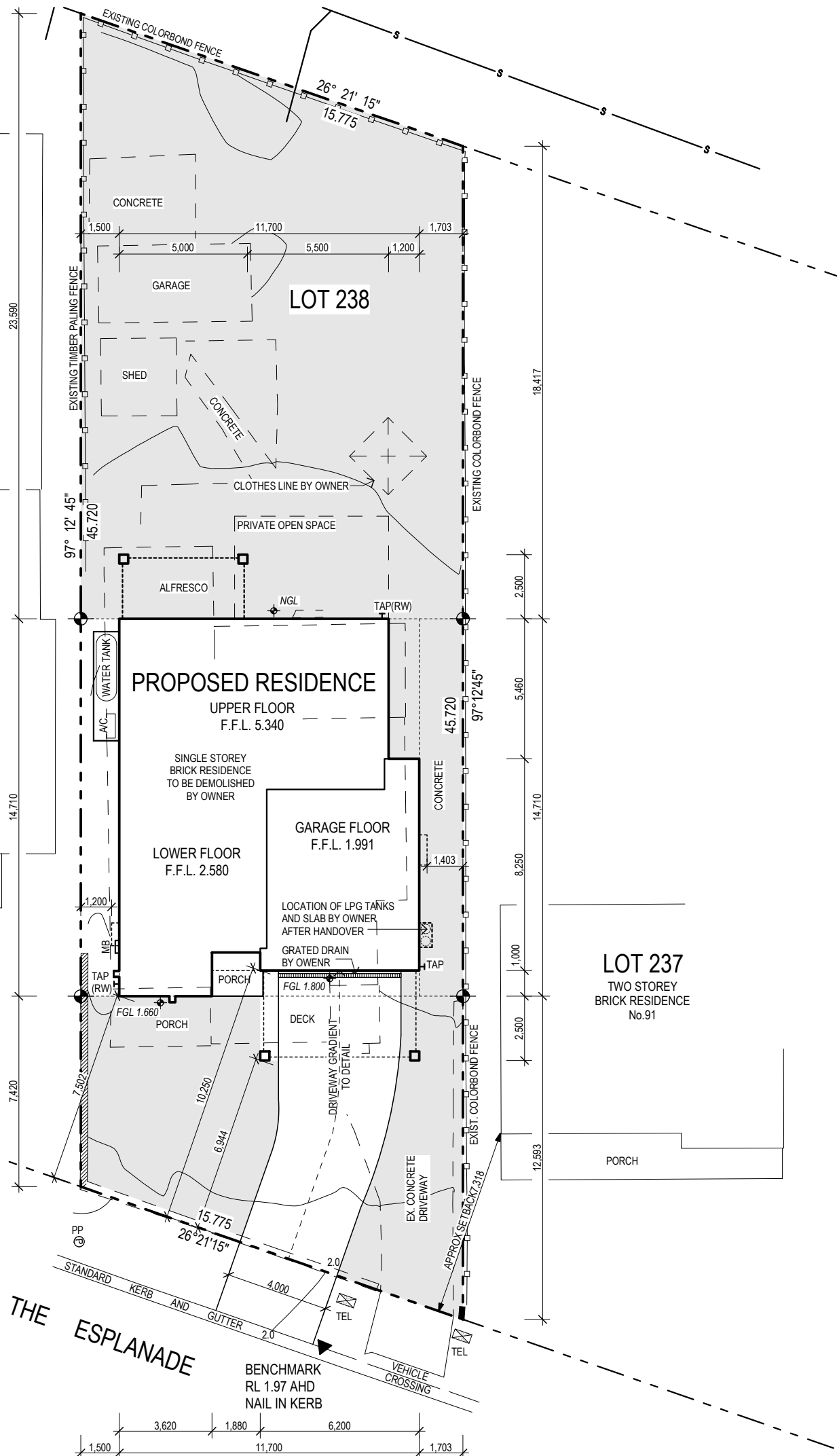
SUNROOM

PORCH



SITE PLAN

SCALE 1:200 LOT 238 DP 10570 AREA 676.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 32255








NOTE: DEMOLITION BY OWNER
THE OWNER IS RESPONSIBLE FOR DEMOLITION OF EXISTING HOUSE, INCLUDING REMOVAL OF ALL BUILDING DEBRIS & DISCONNECTION OF SERVICES (IE. POWER, WATER, SEWER, STORMWATER & GAS)

NOTE: FINISHED GROUND & FLOOR LEVELS
FINISHED GROUND & FLOOR LEVELS INDICATIVE TO A TOLERANCE OF +/- **100mm**, THEREFORE EXTENT OF CUT / FILL BATTERS IS TO BE DETERMINED ON SITE IN CONJUNCTION WITH VOLUME / DENSITY OF SOIL MATERIALS.

NOTE: SURPLUS SOIL
ANY SURPLUS SOIL FROM FOOTING TRENCHES, PIER HOLES AND/OR SERVICE TRENCHES (IF APPLICABLE) ARE TO BE **STOCKPILED & REMAIN ON SITE**. IF ANY SURPLUS SOIL IS UNABLE TO BE STOCKPILED ON SITE DUE TO SITE LIMITATIONS, ADDITIONAL COSTS WILL APPLY TO REMOVE THE SURPLUS SOIL.

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SITE PLAN LEGEND

MARK	DESCRIPTION	
	SURVEY SETOUT PEG	
 MB	METER BOX	
TAP	TOWNWATER TAP	NOTE: EXACT POSITION OF TAP TO BE DETERMINED ON SITE
TAP (RW)	RECYCLED / RAINWATER TAP	
	ALL RETAINING WALLS BY OWNER U.N.O.	
 S -	APPROXIMATE SEWER LOCATION	
 FGL XX.XXX	PROPOSED FINISHED GROUND LEVELS BY OWNER PRIOR TO OCCUPATION CERTIFICATE	

SOIL CLASSIFICATION: M

WIND CLASSIFICATION: N3

SITE AREA TABLE		FLOOR AREA TABLE	
AREA	m ²	AREA	m ²
SITE	676.60	UPPER FLOOR	158.17
LANDSCAPED (SOFT)	443.51	LOWER FLOOR	112.40
DRIVEWAY	50.29	GARAGE	43.84
FOOTPRINT	163.82	DECK	20.17
PRIVATE OPEN SPACE	24.00	PORCH	3.32
TOTAL FLOOR AREA:	314.41	ALFRESCO	12.50
SITE COVERAGE:	31.6%	ROOF AREA	244.73

NOTE: PROPOSED DRIVEWAY BY OWNER

WATER TANK -1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)
- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE & 2 YARD TAPS

CERTIFYING AUTHORITY: DA - CENTRAL COAST

Issue:	Description:	Date:
2A	RE ISSUE TO BASIX & ENGINEER	17/05/2023
2	ISSUE TO BASIX & ENGINEER	13/02/2023
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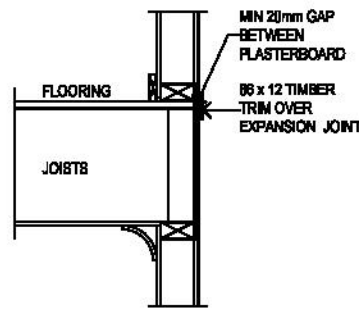
Client Name:
WEEKS, W & F

Job Address:
**PROPOSED RESIDENCE
Lot 238, No.92 The Esplanade
ETTALONG BEACH**

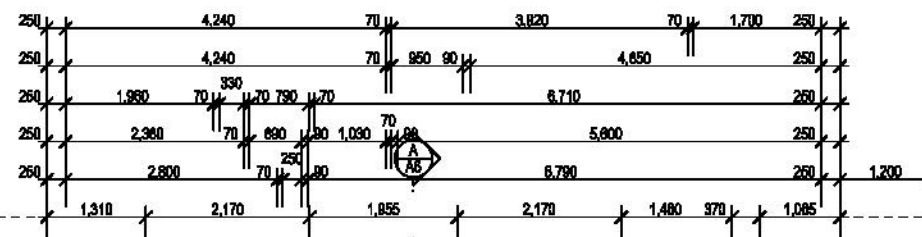
Design: the MIAMI 1 - 318 - Executive 2022

Drawn: B.M.	Sale: AA	Plot Date: 17/05/2023
Job No: 3467	Tender No: 32	Drg No: A1 of 9
		Revision: 2A

DO NOT SCALE DRAWING



WALL EXPANSION JOINT DETAIL
SCALE 1:20

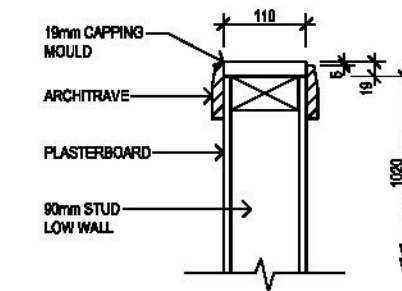


0008417750 14 Feb 2023

Assessor Gavin Chambers
Accreditation No. DMN/13/1491
Address
92 The Esplanade, Ettalong
Beach, NSW, 2257



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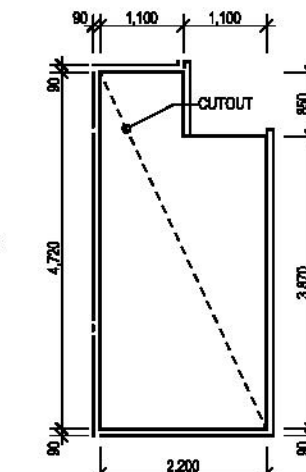
LOW WALL DETAIL
SCALE 1:10

NOTE:
- TERMITE RESISTANT T2 FRAMING AND TRUSSES.
- H2 TERMITE TREATED SHEET FLOORING (IF APPLICABLE)

NOTE:
SQUARE SET CEILING / WALL JUNCTION TO FAMILY, MEALS, KITCHEN (EXCL. WIP), BATHROOM, ENSUITE & POWDER ROOM ONLY.

NOTE:
MELAMINE SHELVING TO REMAINING ROBES, WIL / LINEN & BROOM CUPBOARDS.

NOTE:
92mm FINISH SKIRTING BOARDS THROUGHOUT ENTIRE HOUSE.



UPPER FLOOR STAIR VOID CUTOUT

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FLOOR / FOUNDATION PLAN LEGEND

MARK	DESCRIPTION	MARK	DESCRIPTION
GENERAL			
A/C	AIR-CONDITIONING UNIT	SV	SERVICE VOID
BB	BREAKFAST BAR	UBO	UNDER BENCH OVEN
CJ	CONTROL JOINT	VFS	VENTILATED FRIDGE SPACE
CU	CONTROL UNIT	WH	WALL-HUNG
C/O	CUTOUT	WM	WASHING MACHINE
DW	DISHWASHER	WO	WALL OVEN
DP	DOWNPIPE	WINDOWS & DOORS	
DPS	DOWNPIPE WITH SPREADER	AA	AWNING WINDOW
D.E.B.	DROPPED EDGE BEAM	ABF	BI-FOLD DOORS
EV	EAVE VENT	AD	DOUBLE HUNG WINDOW
FM	FLICKMIXER	AF	FIXED WINDOW
FCO	FOOT-CUT OUTLET	AK	SERVERY SLIDING WINDOW
FBO	FREE STANDING OVEN	ALV	LOUVRE WINDOW
FW	FLOOR WASTE	AS	SLIDING WINDOW
HR	HANDRAIL	ASD	SLIDING DOOR
HWS	HOT WATER SYSTEM	ASSD	STACKING SLIDING DOOR
LP	LOAD POINT	OBS	OBSOLETE GLASS
LW	LOW WALL	SAL	SASH LOCK
MB	METER BOX	VEL	VENT LOCK
MRD	MANUAL ROLLER DOOR	ROOM NAMES	
MW	MICROWAVE CUPBOARD	BR	BROOM CUPBOARD
OBS	OBSOLETE GLASS	ENS	ENSUITE
PLD	PANEL LIFT DOOR	LDRY	LAUNDRY
PD	PIVOT DOOR (SHOWER)	PAN	PANTRY
RD	ROLLER DOOR	POW	POWDER ROOM
REC	SQUARE SET RECESS	WC	WATER CLOSET
REF	REFRIGERATOR	WIL	WALK IN LINEN
RLW	RAILING LOW WALL	WIP	WALK IN PANTRY
SA	SMOKE ALARM (LOCATIONS TO BE DETERMINED ON SITE)	WIR	WALK IN ROBE
SL	SLIDING DOOR (SHOWER)		
SS	SPACE SAVER (SHOWER)		

EX	EXCAVATION LINE
	DENOTES 250 BRICK VENEER/WEATHERBOARD WALL (REFER TO DETAIL)
	SHOWS EXTENT OF WET AREA FLOOR TILES
	SHOWS EXTENT OF FLOOR TILES
	SHOWS EXTENT OF FLOATING FLOOR
	SHOWS EXTENT OF T & G FLOORING

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montgomeryhomes.com.au

Client Name:
WEEKS, W & F

Job Address:
**PROPOSED RESIDENCE
Lot 238, No.92 The Esplanade
ETTALONG BEACH**

Design: the MIAMI 1 - 318 - Executive 2022

Drawn: B.M.	Scale: AA	Plot Date: 17/05/2023
Job No: 3467	Tender No: 32	Drg No: A2 of 9
		Revision: 2A

DO NOT SCALE DRAWING

**DEVELOPMENT CONSENT
APPROVAL**

DA/472/2023

Dated: 18 May 2023

UPPER FLOOR PLAN

SCALE 1:100

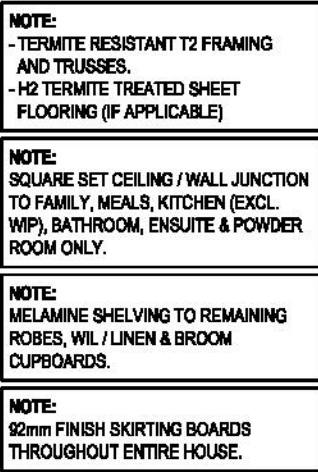
TO BE IN BAYS MAX 3.6 x 3.6m CLOUTED TO THE TOP OF EVERY JOIST WITH 5 CLOUTS EACH TO WHALING PLATE & BEAM
100 x 10mm PREFINISHED GLOSSWOOD LINING BOARD COFFERED CEILING TO DECK (EXCLUDING BEAM & EAVES). SEE DETAIL

2/ 350 x 350 BRICK COLUMNS WITH ADJUSTABLE STEEL POST WRAPPED WITH PAINTED TIMBER BLADES OVER TO STANDARD DETAIL

WINDOWS & DOORS
OPENINGS



Architectural floor plan of a bathroom and shower area. The plan shows a large central shower area with a glass screen, a water tank, a mirror cabinet, a bench, and a shower screen. Dimensions are provided for all walls, openings, and fixtures. Notes include "SET WATER RESISTANT PLASTERBOARD COFFERED CEILING TO ALFRESCO (EXCLUDING EAVES & BEAM) SEE DETAIL" and "SEMI-RECESSED MIRROR CABINET NOTE: FRAME SUPPLIER - SEE WET AREA DETAILS". The plan also shows a kitchen area with a bench and a sewer drainage point. The overall dimensions are 14.710m by 11.700m.



DA/472/2023
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0008417750

14 Feb 2023

5.2

NATIONWIDE HOUSE ENERGY RATING SCHEME

82.7 MJ/m²

www.nathers.gov.au

Assessor Gavin Chambers

Accreditation No. DMN/13/1491

Address 92 The Esplanade , Ettalong Beach , NSW , 2257

hstar.com.au

EAST ELEVATION
SCALE 1:100

WEST ELEVATION
SCALE 1:100

Lot 238 92 The Esplanade Ettalong Beach			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the current BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
3 star (> 7.5 but <= 9 L/min) Shower Heads			Yes
4 Star Kitchen & Basin taps		Yes	4 Star Toilet
			Yes
Alternative Water			
Minimum Tank Size (L)		3000	Collected from Roof Area (m²)
			130
Tank Connected to:			
All Toilets		Yes	Laundry W/M Cold Tap
			Yes
One outdoor tap		Yes	
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water Gas instantaneous 6 Star			
Cooling System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Individual fan, ducted to façade or roof	Manual switch on/off
	Kitchen	Individual fan, ducted to façade or roof	Manual switch on/off
	Laundry	No mechanical ventilation (ie. Natural)	
Natural Lighting	Window/Skylight in Kitchen		No
	Window/Skylight in Bathrooms/Toilets		Yes to 3
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms		5 Dedicated No
	Number of Living/Dining rooms		3 Dedicated No
	Kitchen		Yes Dedicated No
	All Bathrooms/toilets		Yes Dedicated No
	Laundry		Yes Dedicated No
Other Commitments	All Hallways		Yes Dedicated No
OTHER COMMITMENTS			
Outdoor clothes line		Yes	Ventilated refrigerator space
			Yes
Stove/Oven		Gas cooktop & electric oven	

February 2023	BSA Reference: 19350					
Building Sustainability Assessments	Ph: (02) 4962 3439					
enquiries@buildingsustainability.net.au	www.buildingsustainability.net.au					
Important Note						
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below than the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.						
In NSW both BASIX & the BCA variations must be complied with, in particular the following:						
- Thermal construction in accordance with Vol 1 Section J1.2 or Vol 2 Part 3.12.1.1						
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d)						
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (e) or (c), (d) & (e)						
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.						
Thermal Performance Specifications (does not apply to garage)						
External Wall Construction Added Insulation						
Brick Veneer & Lightweight		R2.0				
Internal Wall Construction Added Insulation						
Plasterboard on studs		R2.0 to walls adjacent to garage				
Ceiling Construction Added Insulation						
Plasterboard		R3.5 to ceilings adjacent to roof space				
Roof Construction Colour (Solar Absorptance) Added Insulation						
Roofing Tile		Storm-Grey SA 0.88	Foil			
Floor Construction Covering Added Insulation						
Concrete		As drawn (if not noted default values used)	None			
Timber		As drawn (if not noted default values used)	None			
Windows Glass and frame type U value SHGC Range Area sq m						
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63 As drawn			
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77 As drawn			
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors						
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvres						
Skylights Glass and frame type U SHGC Area sq m Detail						
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified						
Shade elements (eaves, verandahs, awnings etc)						
All shade elements modelled as drawn						
Ceiling Penetrations (downlights, exhaust fans, flues etc)						
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA						
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.						
Additional Notes						
Nil						

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ELEVATION / SECTION LEGEND

MARK	DESCRIPTION
GENERAL	
A/C	AIR-CONDITIONING UNIT
C	COMMUNICATIONS BOX
CJ	CONTROL JOINT
CU	CONTROL UNIT
D.E.B.	DROPPED EDGE BEAM
E	EARTHSTAKE
FC	FIBRE CEMENT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FGL	FINISHED GROUND LEVEL
HWS	HOT WATER SYSTEM
HP HWS	HEAT PUMP HOT WATER SYSTEM
MB	METER BOX

LEVEL OF EXTERNAL FINISH

EXTERNAL WALLS

(NOTE: SEE ELEVATIONS FOR APPLICABLE FINISH)

FACE BRICKWORK

MOROKA BAG & PAINT

RENDER

PLEASE NOTE:

SILL ANGLE WILL VARY. ANGLE OF SILL IS SUBJECT TO WINDOW HEIGHT AND GAUGE OF BRICKWORK

ROOF CLADDING

TILES

COLORBOND

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MONTGOMERY HOMES

BUILDING ON EVERY LEVEL

Sydney: (02) 8883 5400

Newcastle: (02) 4945 4000

Central Coast: (02) 4384 1441

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Client Name:

WEEKS, W & F

Job Address:

PROPOSED RESIDENCE

Lot 238, No.92 The Esplanade

ETTALONG BEACH

Design: the MIAMI 1 - 318 - Executive 2022

Drawn:	Sale:	Plot Date:	
B.M.	AA	17/05/2023	
Job No:	Tender No:	Drp No:	Revision:
3467	32	A4 of 9	2A

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SOUTH ELEVATION

SCALE 1:100

Central Coast Council

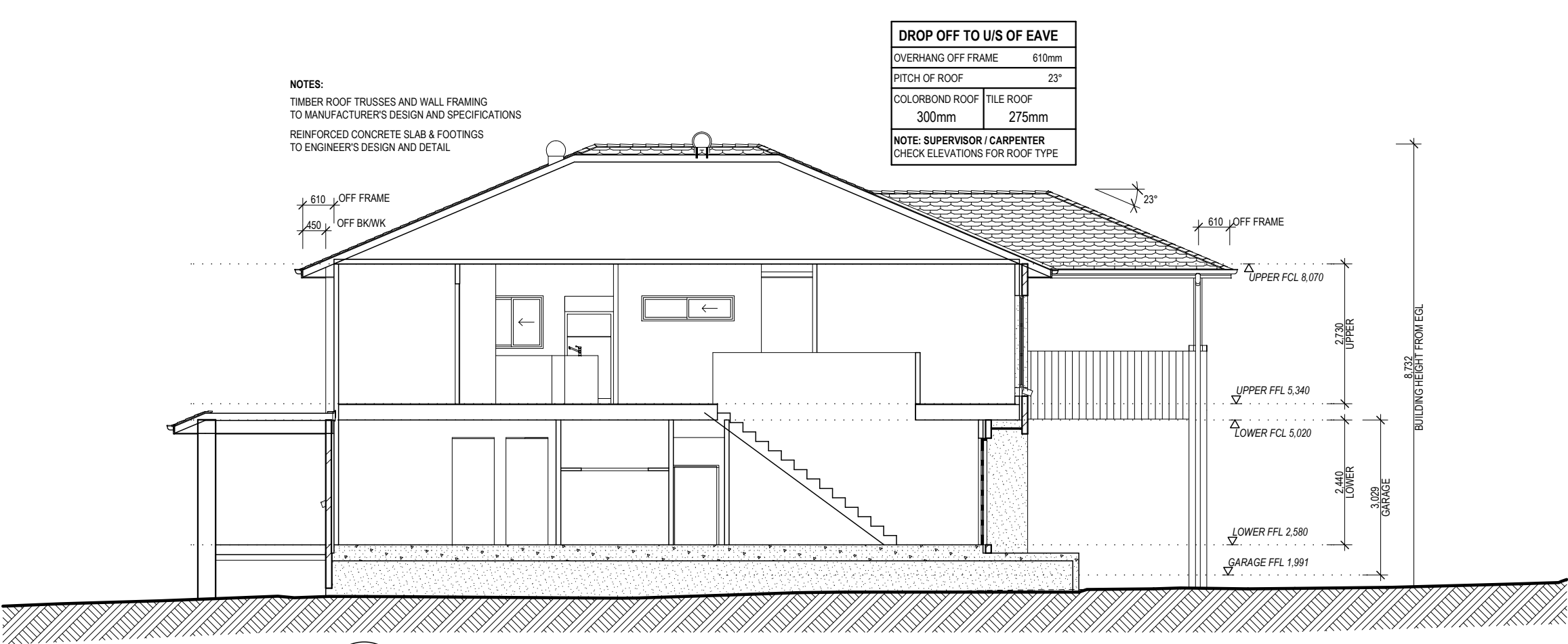
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NORTH ELEVATION

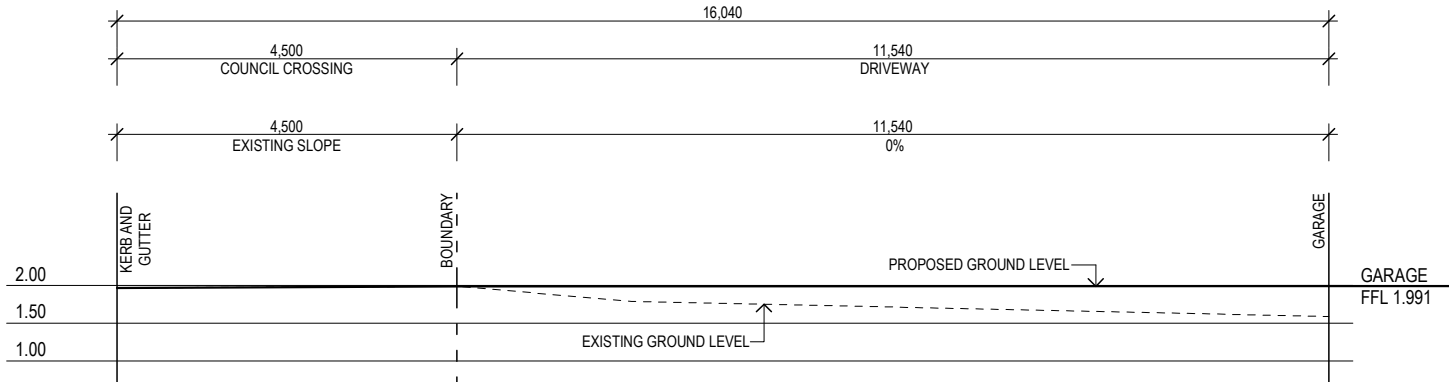
SCALE 1:100



A
A2

SECTION

SCALE 1:100



-
A1

DRIVEWAY LONG SECTION

SCALE 1:100

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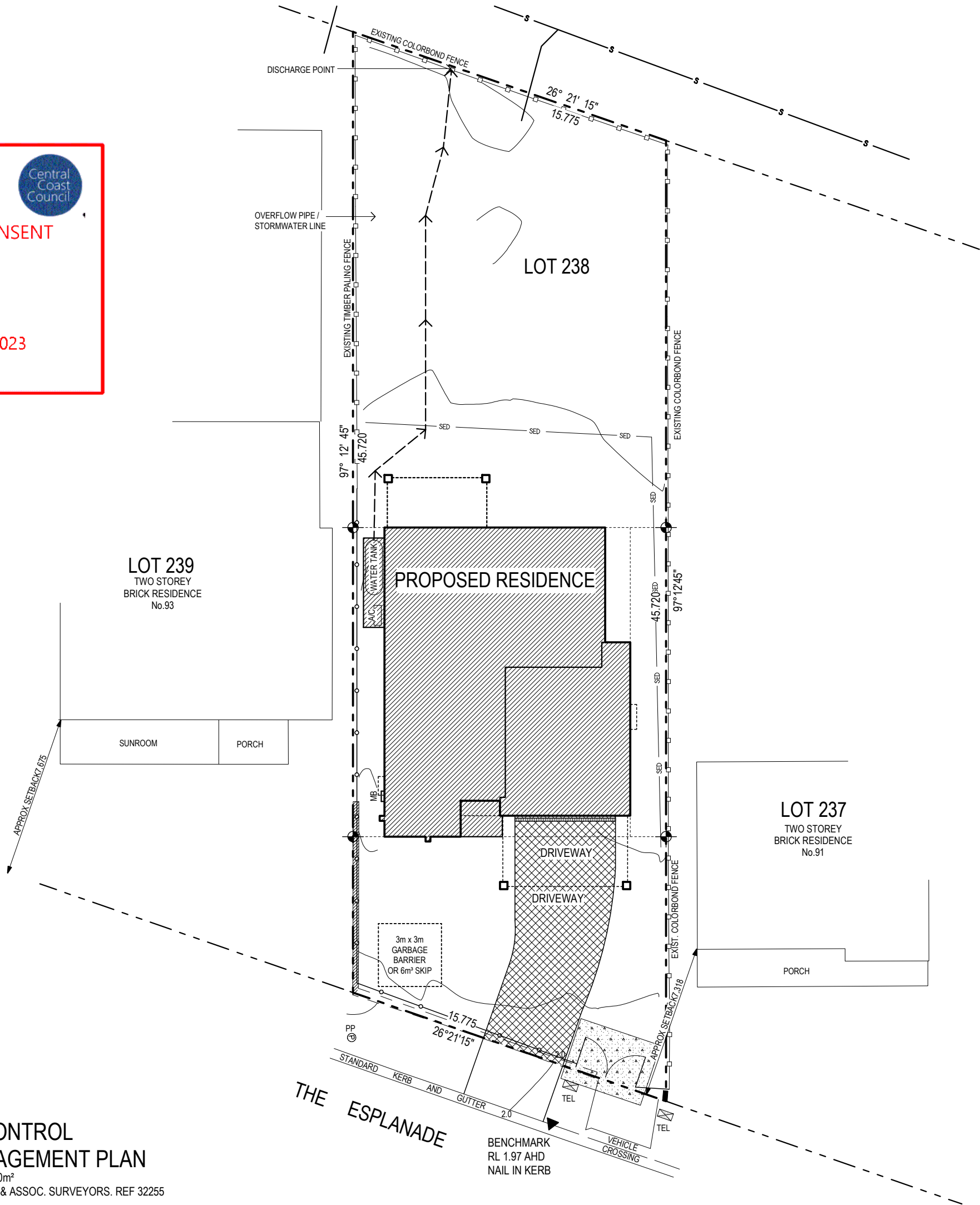
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Central Coast Council

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SEDIMENT & EROSION CONTROL
AND STORMWATER MANAGEMENT PLAN

SCALE 1:200 LOT 238 DP 10570 AREA 676.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 32255

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WATER MANAGEMENT TABLE

IMPERVIOUS AREA	AREA m²	NOTE
FOOTPRINT	163.82	
DRIVEWAY	50.29	FALLS TO EASEMENT AT REAR OF BLOCK
TOTAL	214.11	
ROOF AREA	244.73	UP TO APPROX. 50% PIPED TO WATER TANK

OVERFLOWS FROM WATER TANK TO BE DISCHARGED INTO EASEMENT AT REAR OF BLOCK

NOTE: PROPOSED DRIVEWAY BY OWNER

WATER TANK - 1 x 3,000 LITRE (2.6m LONG x 0.8m WIDE x 1.5m HIGH)
- SEPARATE WATER LINES / PIPING TO ALL TOILETS, WASHING MACHINE & 2 YARD TAPS

← - - - -

OVERFLOW PIPE / STORMWATER LINE

FOOTPRINT OF PROPOSED RESIDENCE

DRIVEWAY

SED

SEDIMENT CONTROL FENCE

STABILISED SITE ACCESS

SECURITY FENCE & GATES

S

SEWER

EXISTING FENCE

SEDIMENT CONTROL NOTES

1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PREVENTION OF DISCHARGE OF ANY POLLUTANTS FROM THE SITE.

2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.

3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEANED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITH DISTURBED AREAS ON SITE.

4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING (BY OWNER) OR MULCHING. SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.

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Drp No:
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TREE LEGEND

#	RET.	REM.	SPECIES	HEIGHT	DIAMETER
T1	×			4m	0.1m
T2	×			3m	0.2m
T3	×			5m	0.1m
T4	×			5m	0.1m
T5	×			12m	0.1m
T6	×		PALMS	10m	0.2m

←	OVERFLOW PIPE / STORMWATER LINE
	TREES TO BE REMOVED (BY SEPARATE APPLICATION)
	TREES TO REMAIN

2A	RE ISSUE TO BASIX & ENGINEER	17/05/2023
2	ISSUE TO BASIX & ENGINEER	13/02/2023
1	ISSUE TO SALES	13/01/2023
Issue:	Description:	Date:



Sydney: (02) 8883 5400
Newcastle: (02) 4945 4000
Central Coast: (02) 4384 1441
montgomeryhomes.com.au

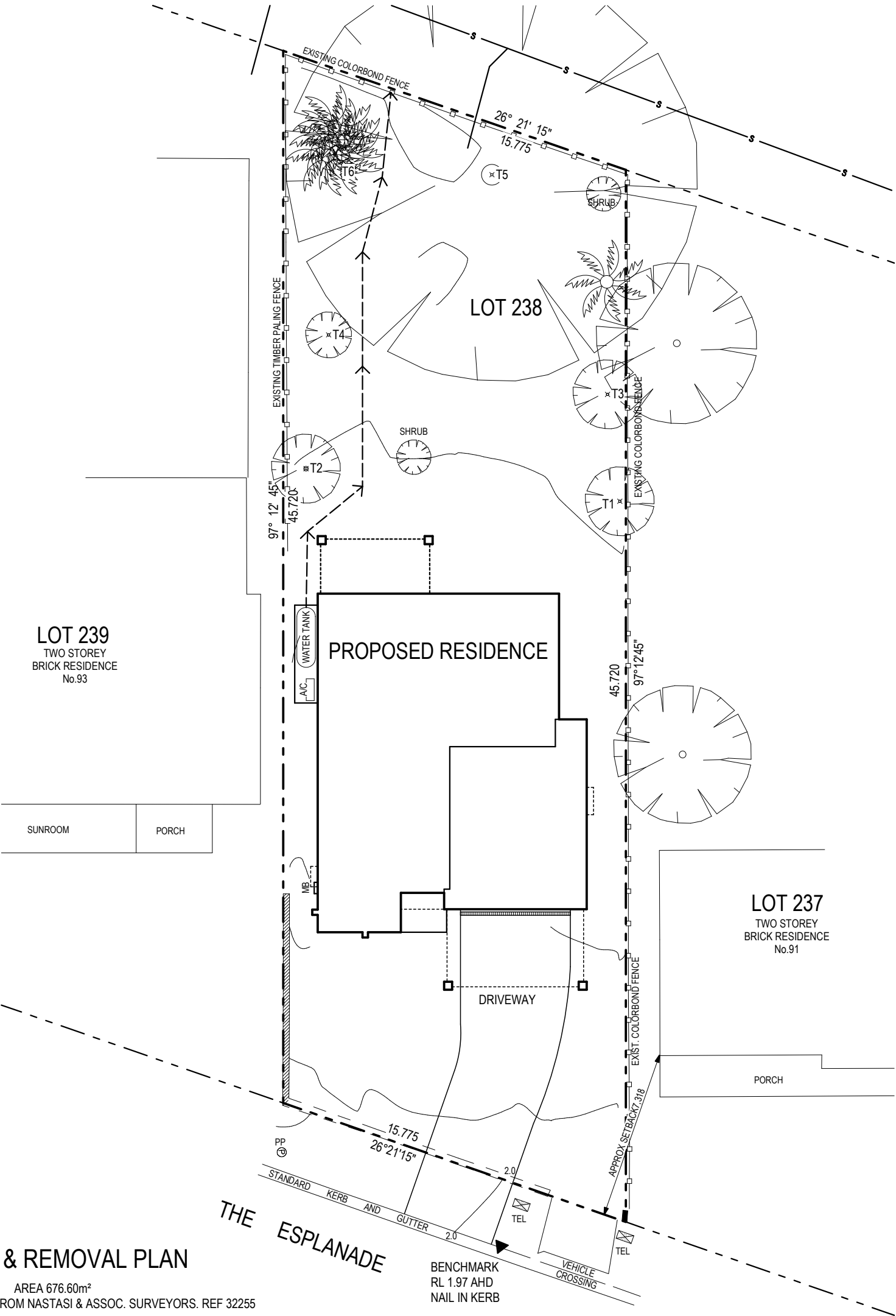
Client Name:
WEEKS, W & F

Job Address:
**PROPOSED RESIDENCE
Lot 238, No.92 The Esplanade
ETTALONG BEACH**

Design: the MIAMI 1 - 318 - Executive 2022

Drawn: B.M.	Sale: AA	Plot Date: 17/05/2023	
Job No: 3467	Tender No: 32	Drq No: A8 of 9	Revision: 2A

DO NOT SCALE DRAWING



DEVELOPMENT CONSENT
APPROVAL

DA/472/2023
Dated: 18 May 2023



LOT 239
TWO STOREY
BRICK RESIDENCE
No.93

SUNROOM

PORCH

PROPOSED RESIDENCE

LOT 238

LOT 237
TWO STOREY
BRICK RESIDENCE
No.91

DRIVEWAY

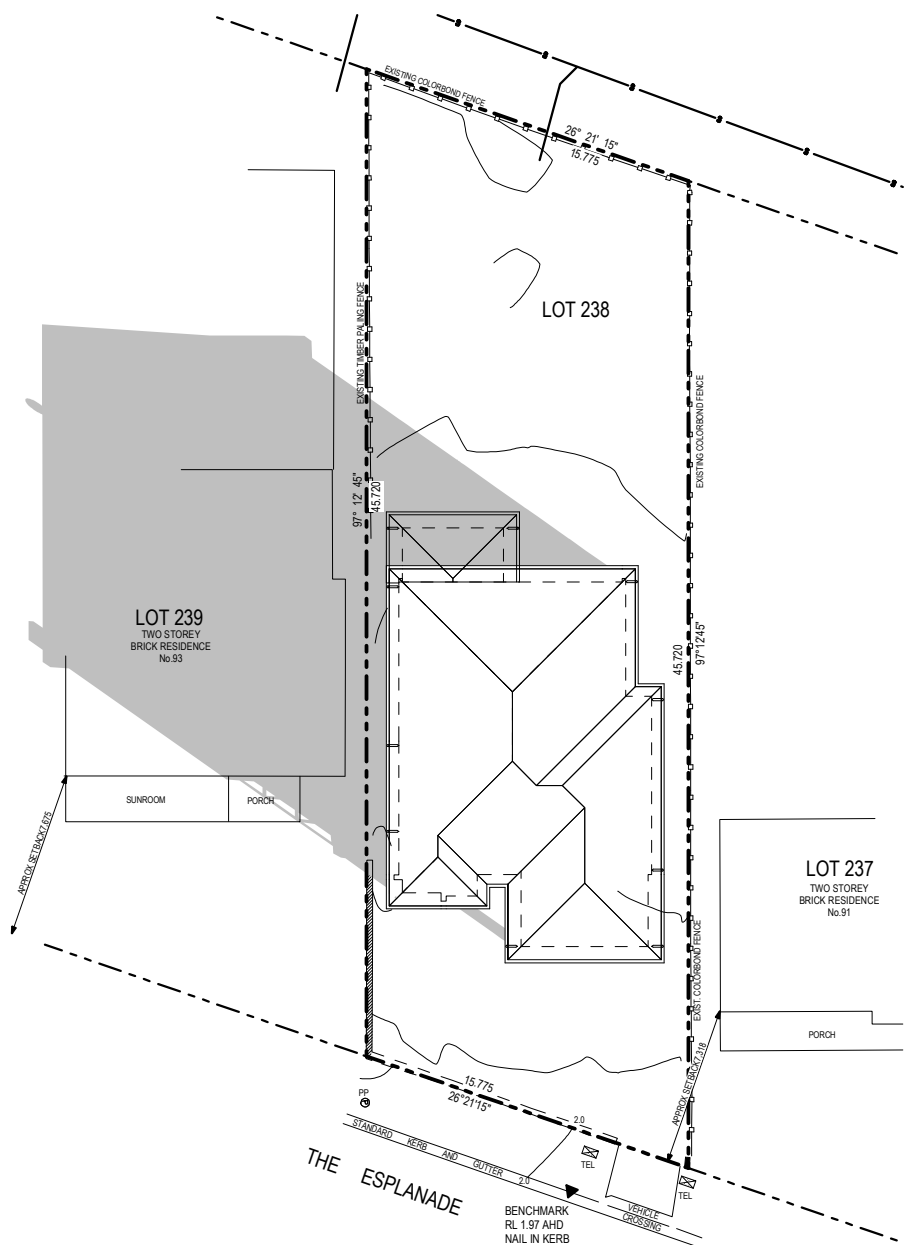
PORCH

THE
ESPLANADE

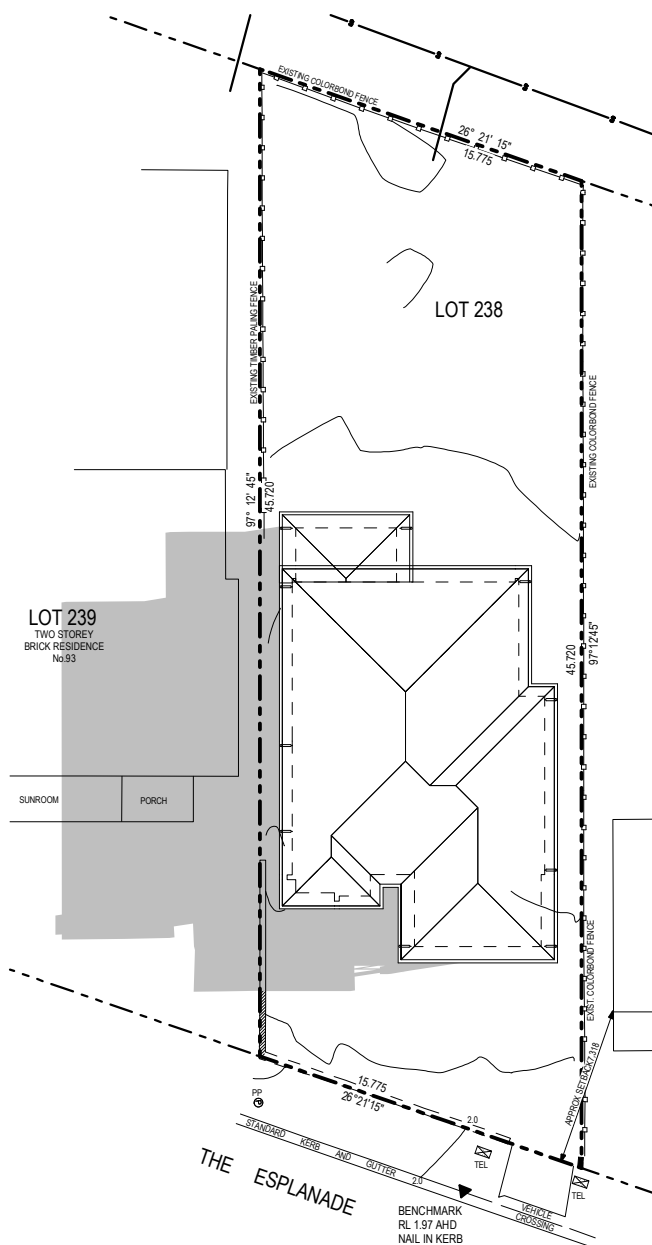
BENCHMARK
RL 1.97 AHD
NAIL IN KERB

TREE RETENTION & REMOVAL PLAN

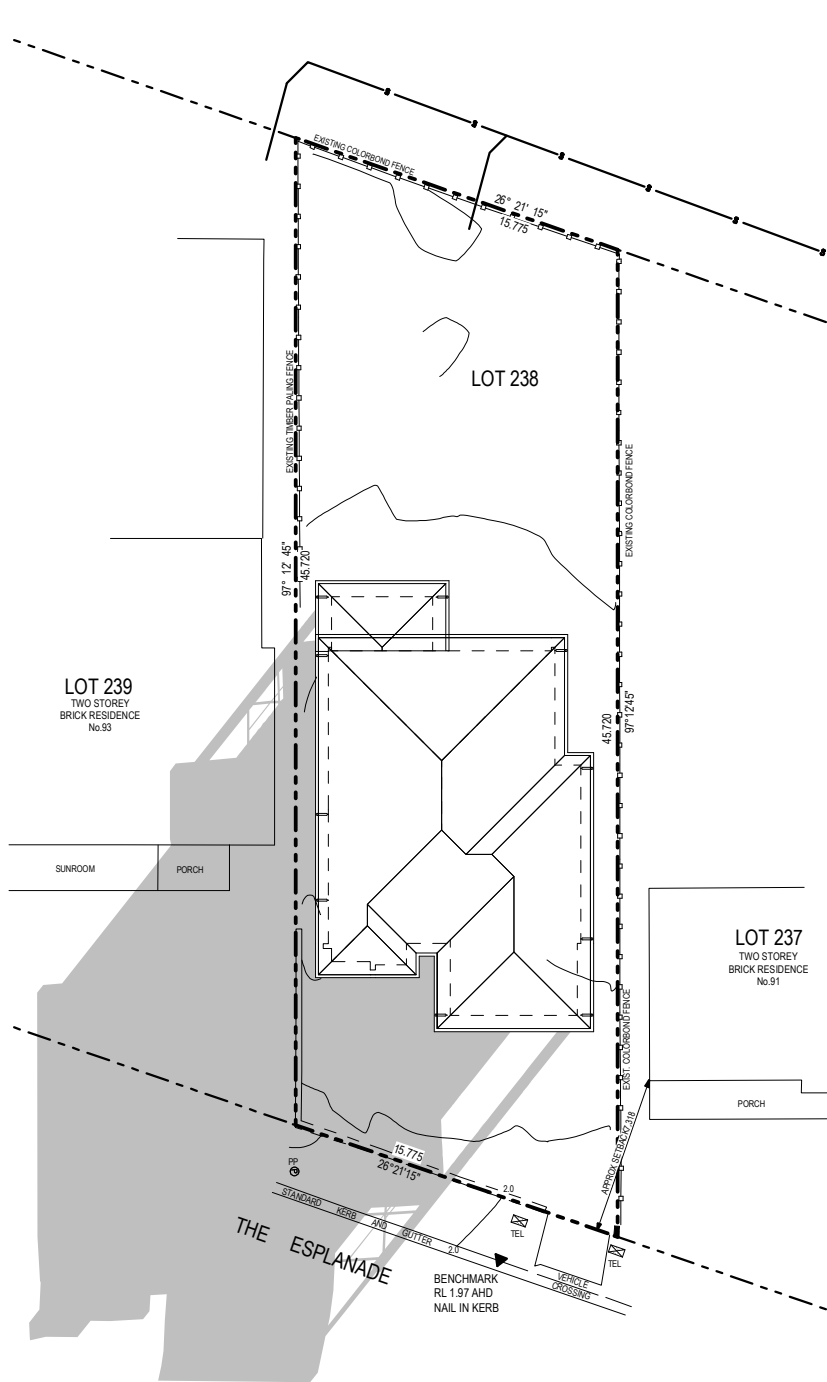
SCALE 1:200 LOT 238 DP 10570 AREA 676.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 32255



JUNE 21 - 9:00am



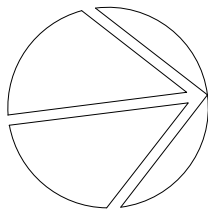
JUNE 21 - 12:00pm



JUNE 21 - 3:00pm

DEVELOPMENT CONSENT
APPROVAL

DA/472/2023
Dated: 18 May 2023



SUN STUDY

SCALE 1:350 LOT 238 DP 10570 AREA 676.60m²
SURVEY INFORMATION OBTAINED FROM NASTASI & ASSOC. SURVEYORS. REF 32255

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Client Name:

WEEKS, W & F

Job Address:

PROPOSED RESIDENCE
Lot 238, No.92 The Esplanade
ETTALONG BEACH

Design: the MIAMI 1 - 318 - Executive 2022

Drawn: B.M.	Sale: AA	Plot Date: 17/05/2023	
Job No: 3467	Tender No: 32	Drg No: A9 of 9	Revision: 2A

DO NOT SCALE DRAWING